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DEVELOPMENT MANAGEMENT COMMITTEE AGENDA

Membership: Councillor Hughes (Chairman)

Councillors Buckley, Keast, Patrick, Perry, Satchwell and Lloyd

Meeting: Development Management Committee

Date: 17 August 2017

Time: 5.00 pm

Venue: Hurstwood Room, Public Service Plaza, Civic Centre Road,
Havant, Hampshire PO9 2AX

The business to be transacted is set out below:

Nick Leach
Monitoring Officer

8 August 2017

Contact Officer: Jack Caine 023 92446230
Email: jack.caine@havant.gov.uk

Page

PART A - (Items Open for Public Attendance)

1 Apologies for Absence

To receive and record apologies for absence.

2 Minutes

1 - 10

To approve the minutes of the Development Management Committee held on 27 July 2017.

3	Matters Arising	
4	Site Viewing Working Party Minutes	To Follow
	To receive the minutes of the Site Viewing Working Party held on 10 August 2017.	
5	Declarations of Interest	
	To receive and record declarations of interests from members present in respect of the various matters on the agenda for this meeting.	
6	Chairman's Report	
	The Chairman to report the outcome of meetings attended or other information arising since the last meeting of the Committee.	
7	Matters to be Considered for Site Viewing and Deferment	
	The Committee are invited to consider any matters they wish to recommend for site viewing or deferment.	
8	Deputations	
	To receive requests to make a deputation to Committee.	
9	Applications for Development and Development Control Matters	11 - 14
 Part 1 - Applications Viewed by the Site Viewing Working Party		
9(1)	APP/17/00025 - 139 Elm Grove, Hayling Island, PO11 9ED	15 - 34
	Proposal: Changes to approved Planning Permission APP/15/01436 comprising of reduction in window size and relocation of entrance door on front elevation, addition of conservatory, smoking shelter to rear elevation and erection of fence and gates to rear boundary. (Part retrospective application)	
	Associated Documents: https://tinyurl.com/y9rbqm9n	
9(2)	APP/17/00654 - Osier Dell, Manor Road, Hayling Island, PO11 0QW	35 - 64
	Proposal: Renovation and conversion of stable building, replacement of 1970's lean-to and reconstruction of derelict East end to create 1No. 3 bedroom 2 storey dwelling.	
	Associated documents: https://tinyurl.com/y8kzgwyx	
9(3)	APP/17/00658 - Osier Dell, Manor Road, Hayling Island, PO11	65 - 72

0QW

Proposal: Listed Building application for renovation and conversion of stable building, replacement of 1970's lean-to and reconstruction of derelict East end to create 1No. 3 bedroom 2 storey dwelling.

Associated documents:

<https://tinyurl.com/ybcctw7o>

10 Appointment of Chairman

73 - 74

To consider the Appointment of Chairman for the next meeting of the Development Management Committee.

PART B (Confidential Items - Closed to the Public)

None.

GENERAL INFORMATION

IF YOU WOULD LIKE A VERSION OF THIS AGENDA IN LARGE PRINT, BRAILLE, AUDIO OR IN ANOTHER LANGUAGE PLEASE CONTACT DEMOCRATIC SERVICES ON 023 92 446 231

Internet

This agenda and its accompanying reports can also be found on the Havant Borough Council website: www.havant.gov.uk. Would you please note that committee reports are subject to changes and you are recommended to regularly check the website and to contact *Jack Caine* (tel no: 023 92446230) on the afternoon prior to the meeting for details of any amendments issued.

Public Attendance and Participation

Members of the public are welcome to attend the Public Service Plaza and observe the meetings. If you wish to address the Committee on a matter included in the agenda, you are required to make a request in writing (an email is acceptable) to the Democratic Services Team. A request must be received by 5pm on **Tuesday, 15 August 2017**. Requests received after this time and date will not be accepted

In all cases, the request must briefly specify the subject on which you wish to speak and whether you wish to support or speak against the matter to be discussed. Requests to make a deputation to the Committee may be sent:

By Email to: jack.caine@havant.gov.uk or democraticservices@havant.gov.uk

By Post to :

Democratic Services Officer
Havant Borough Council
Public Service Plaza
Civic Centre Road
Havant, Hants P09 2AX

Delivered at:

Havant Borough Council
Public Service Plaza
Civic Centre Road
Havant, Hants P09 2AX

marked for the Attention of the "Democratic Services Team"



Havant

BOROUGH COUNCIL

PROTOCOL AT MEETINGS – RULES OF DEBATE

Rules of Debate

- Councillors must always address each other as “Councillor ...” and must always address the meeting through the Chairman
- Councillors may only take part in the debate if they are present at the meeting: video conferencing is not permissible
- A member of the Committee may not ask a standing deputy to take their place in the Committee for part of the meeting
- The report or matter submitted for discussion by the Committee may be debated prior to a motion being proposed and seconded. Recommendations included in a report **shall not** be regarded as a motion or amendment unless a motion or amendment to accept these recommendations has been moved and seconded by members of the Committee
- Motions and amendments must relate to items on the agenda or accepted by the meeting as urgent business
- Motions and amendments must be moved and seconded before they may be debated
- There may only be one motion on the table at any one time;
- There may only be one amendment on the table at any one time;
- Any amendment to the motion can be moved provided it is (in the opinion of the Chairman) relevant to the matter under discussion. The amendment can be a direct negative of the motion.
- The mover with the agreement of the seconder may withdraw or alter an amendment or motion at any time
- Once duly moved, an amendment shall be debated along with the original motion.
- If an amendment is carried, the motion as amended shall take the place of the original motion and shall become the substantive motion on which any further amendment may be moved.
- If an amendment is rejected different amendments may be proposed on the original motion or substantive motion.
- If an amendment is lost, other amendments may be moved to the original motion or substantive motion
- If an amendment is lost and there are no further amendments, a vote will be taken on the original motion or the substantive motion
- If no amendments are moved to the original motion or substantive motion, a vote will be taken on the motion or substantive motion
- If a motion or substantive motion is lost, other motions may be moved

Voting

- Voting may be by a show of hands or by a ballot at the discretion of the Chairman;
- Councillors may not vote unless they are present for the full duration of the

item;

- An amendment must be voted on before the motion
- Where there is an equality of votes, the Chairman may exercise a second (casting) vote;
- Two Councillors may request, before a vote is taken, that the names of those voting be recorded in the minutes
- A Councillor may request that his/her vote be recorded in the minutes

Order of Business

Please note that the agenda order will be revised so that “uncontested” items are considered prior to 6 pm. The Contact Officer for this agenda can be contacted on (023) 9244 6232) on the afternoon prior to the meeting for details of the revised order, details of which are circulated at the meeting.

Who To Contact If You Wish To Know The Outcome Of A Decision

If you wish to know the outcome of a particular item please contact the Contact Officer (contact details are on page i of the agenda)

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PLEASE EVACUATE THE BUILDING IMMEDIATELY.

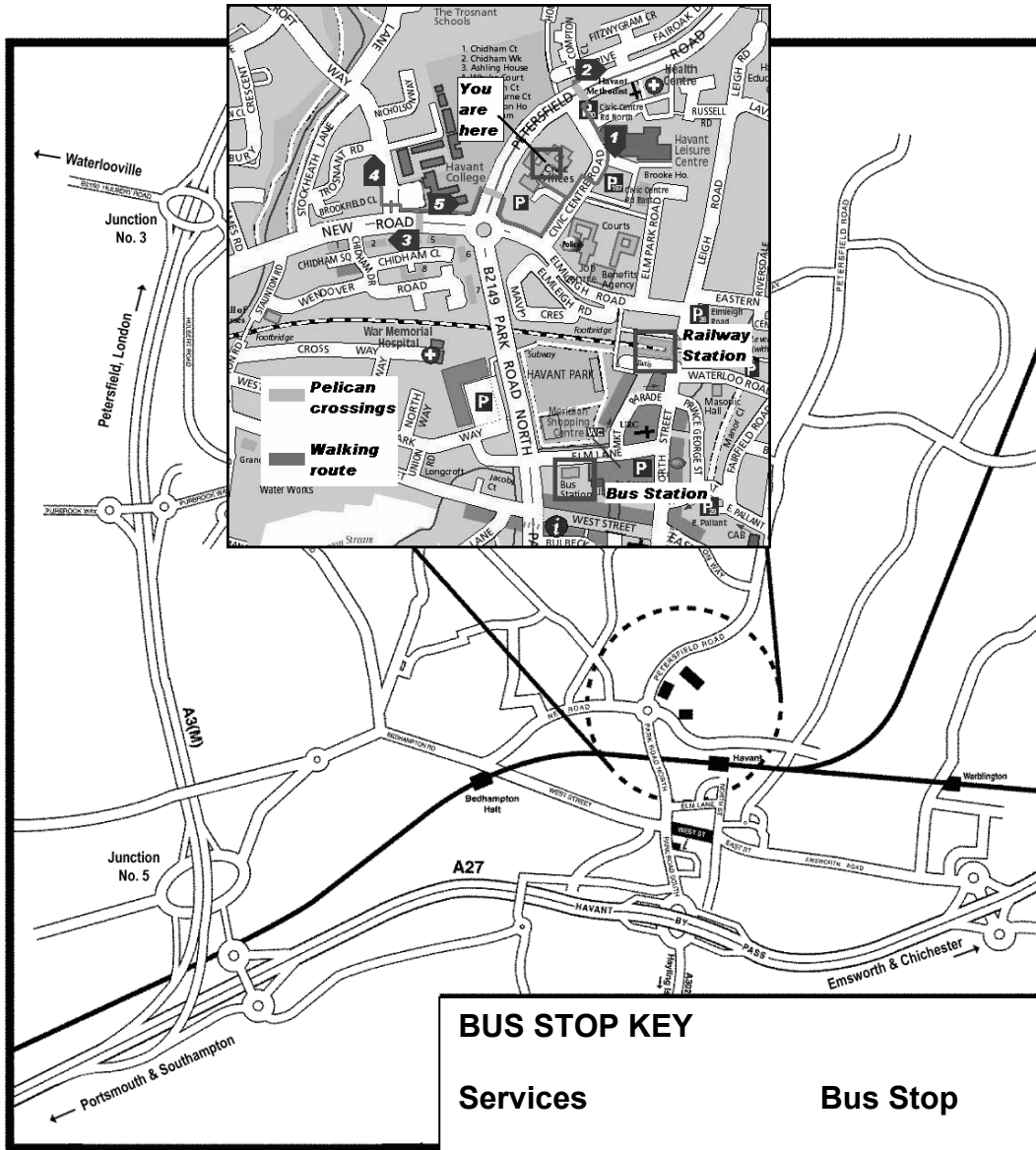
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Services	Bus Stop
20, 21, 39, 63	1
20, 21, 36**, 39	2
23, 36**	3
23, 27**, 37	4
23, 27**, 36**, 37	5

** - also stops "hail and ride" opposite Stop 1 in Civic Centre Road



Havant
BOROUGH COUNCIL

Public Service Plaza
Civic Centre Road
Havant
Hampshire PO9 2AX

HAVANT BOROUGH COUNCIL

At a meeting of the Development Management Committee held on 27 July 2017

Present

Councillor Buckley (Chairman)

Councillors Keast, Patrick, Satchwell, Davis (Standing Deputy), Lloyd and Quantrill (Standing Deputy)

27 Apologies for Absence

Apologies for absence were received from Cllr Hughes and Perry

28 Minutes

RESOLVED that the minutes of the previous meeting held on 29 June 2017 were approved as a correct record and signed by the Chairman.

29 Matters Arising

There were no matters arising

30 Site Viewing Working Party Minutes

The minutes from the Site Viewing working party, tabled in supplementary information, were received.

31 Declarations of Interest

There were no declarations of pecuniary interest relating to matters on the agenda.

32 Chairman's Report

The Chairman advised that a Development Consultation forum was scheduled to take place on 22nd August regarding the BaE site in Waterlooville and members of the Development Management Committee should make every effort to attend. It was also advised that notes from the most recent training session would be circulated by officers.

33 Matters to be Considered for Site Viewing and Deferment

There were none.

34 Deputations

The following deputation requests were noted by the Committee:

- 1) Ms. Zarina Jobbins – (APP/17/00388) 128-130 Sea Front, Hayling Island
- 2) Cllr Leah Turner – (APP/17/00388) 128-130 Sea Front, Hayling Island
- 3) Mr Buckingham – (APP17/17/00352) Former Site of 1 Hawthorne Grove, Hayling Island
- 4) Cllr J Perry - (APP17/17/00352) Former Site of 1 Hawthorne Grove, Hayling Island
- 5) Dr Sam Cope – (APP/17/00342) Foreshore at South Hayling Island.

35 APP/17/00388 - 128-130 Sea Front, Hayling Island, PO11 9HW

The Committee considered the written report, in addition to supplementary information, and recommendation from the Head of Planning Services to grant permission.

The Committee was addressed by the following deputees:

- 1) Ms. Zarina Jobbins who objected to the proposal for the following reasons:
 - a. The proposal would limit the already minimal amount of light available to her property to an unacceptable extent.
 - b. The distances given in the officer's report between the properties was inaccurate and misleading – the properties were much closer than reported.
 - c. The proposal was unacceptable by way of its dominating and oppressive design.
 - d. The design of the proposal was out of character with the rest of the area.
 - e. The proposal was described as a 3 storey building, however it should be regarded as a 4 storey building.
 - f. The health and wellbeing of local residents would be significantly detrimentally affected by the proposal.

In response to questions raised by the committee Ms Jobbins advised why she had disputed the measurements quotes in the officers report and how she had achieved her own measurements.

- 2) Cllr Leah Turner, who objected to the proposal for the following reasons:
 - g. The neighbouring properties located in the Sanderlings were already significantly detrimentally affected by other large buildings in the area. The proposal would only cause greater impact on these properties.

- h. Previous applications submitted to the Council had been refused due to their height and bulk and this new proposal did not appear much different.
- i. The proposal should be refused, quoting model reasons for refusal R26, R27 & R28. The significant loss of light to properties in the Sanderlings was unacceptable.
- j. Whilst the proposal had been reported to have an acceptable separation distance to existing dwellings, the perception of being overlooked was still prevalent and should be considered.

In response to questions raised by the Committee, officers advised that:

- A firm of chartered architects had taken measurements of the area and the reporting officer was satisfied that appropriately qualified professionals had drawn the plans.
- The distances quotes in the officers report were from the north elevation
- All windows on the lift enclosure and top floor were obscure glazed and non-opening
- Officers were satisfied that the impact the proposal would have on light was acceptable with regard to existing neighbouring dwellings.

The Committee discussed the application in detail together with views raised by the deputees. During the course of debate the following points were raised:

- The north elevation would be in-keeping with the street scene and would have a positive impact on the street scene.
- The impact on light was minimal and was acceptable in planning terms.
- The design of the proposal had sought to mitigate any unnecessary impact by use of a mansard style roof, decreasing the impact and dominance of the building.

Members debated the application and whilst some felt the impact on light was too significant the majority of the Committee felt it was acceptable in planning terms and it was therefore

RESOLVED that the Head of Planning Services be authorised to grant permission for application APP/17/00388 subject to the following conditions:

- 1 The development must be begun not later than three years beginning with the date of this permission.
Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 The development hereby permitted shall be carried out in accordance with the

following approved plans:

Block and Location Plan Drawing No. 15:027: 01 Rev B
 Proposed Site Plan Drawing No. 15:027:05 Rev E
 Proposed Floor Plans and Elevations Drawing No. 15:027:03 Rev N
 Proposed and Existing Street Elevation Drawing No. 15:027:06 Rev L
 Existing and Proposed Site Sections Drawing No. 15:027:09 Rev A
 Existing and Proposed Site Sections Drawing No. 15:027:010 Rev A
 Proposed Shadow Diagrams Drawing No. 15:027:11 Rev A

Reason: - To ensure provision of a satisfactory development.

- 3 No development shall take place until plans and particulars specifying the following matters have been submitted to and approved in writing by the Local Planning Authority:

(i) The provision to be made within the site for contractors' vehicle parking during site clearance and construction of the development;

(ii) The provision to be made within the site for a material storage compound during site clearance and construction of the development.

Thereafter, throughout such site clearance and implementation of the development, the approved parking provision and storage compound shall be kept available and used only as such.

Reason: To safeguard the amenities of the locality and/or in the interests of traffic safety and having due regard to policies CS16 and DM10 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 4 Notwithstanding any description of materials in the application no above ground construction works shall take place until samples and a full specification of the materials to be used externally on the building(s) have been submitted to and approved in writing by the Local Planning Authority. Such details shall include the type, colour and texture of the materials. Only the materials so approved shall be used, in accordance with any terms of such approval.

Reason: To ensure the appearance of the development is satisfactory and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 5 The landscaping works shown on the approved plans Proposed Site Plan Drawing No. 15:027:05 Rev E shall be carried out in accordance with the approved details and in accordance with any timing / phasing arrangements approved or within the first planting season following final occupation of the additional residential units hereby permitted, whichever is the sooner. Any trees or shrubs planted or retained in accordance with this condition which are removed, uprooted, destroyed, die or become severely damaged or become seriously diseased within 5 years of planting shall be replaced within the next planting season by trees or shrubs of similar size and species to those originally required to be planted.

Reason: To ensure the appearance of the development is satisfactory and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 6 No additional residential units shall be first occupied until details of the type, siting, design and materials to be used in the construction of all means of enclosure including boundaries, screens or retaining walls, have been submitted to and approved in writing by the Local Planning Authority and the approved structures have been erected in accordance with the approved details. The structures shall thereafter be retained.
Reason: To safeguard the amenities of the locality and occupiers of neighbouring property and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 7 The car parking (including garages), servicing and other vehicular access arrangements shown on the approved plans to serve the development hereby permitted shall be made fully available for use prior to the development being first brought into use and shall be retained thereafter for their intended purpose.
Reason: In the interests of highway safety and having due regard to policy DM13 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 8 The first and second floor balconies hereby approved shall not be brought into use unless and until screens are fitted to the east and west elevations and between balconies with textured glass which obscuration level is no less than Level 4 of the Pilkington Texture Glass scale (or equivalent) to a height of no less than 1.7m above finished floor level, and retained as such thereafter.
Reason: In the interests of the amenities of the occupiers of nearby properties and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 9 Notwithstanding the provisions of any Town and Country Planning (General Permitted Development) Order 2015, prior to first occupation of the extension hereby permitted the following windows:
- West Elevation:
Second Floor Living Area Window
- North Elevation:
First Floor Communal Stair/Lift Lobby
Second Floor 2 x Utility, 2 x Store and Communal Stair/Lift Lobby
- (All as shown on Proposed Floor Plans & Elevations Drawing No. 15:027:03 Rev N)
- Shall be fitted with, to a height of no less than 1.7m above finished floor level, non-opening lights and textured glass which obscuration level is no less than Level 4 of the Pilkington Texture Glass scale (or equivalent) and retained as such thereafter.
Reason: In the interests of the amenities of the occupiers of nearby properties and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 10 The additional residential units hereby permitted shall not be occupied unless and until full details and specifications of the proposed bin and cycle stores have been submitted to and approved in writing by the Local Planning Authority. The bin and cycle stores shall thereafter be provided prior to

occupation and maintained in accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that appropriate bin storage is provided and in the interests of providing sustainable transport options having due regard to policies CS16, DM10 and DM13 of the Havant Borough Local Plan (Core Strategy 2011 and the National Planning Policy Framework.

36 APP/17/00352 - Former site of 1 Hawthorne Grove, Hayling Island

The Committee considered the written report, in addition to supplementary information, and recommendation for the Head of Planning Services to grant permission. The Committee was addressed by the following deputies:

- 1) Mr Buckingham, speaking on behalf of Ms Liz Tester, who objected to the proposal for the following reasons:
 - a. The proposal would regularise the disruptive nature of the speed ramp, having a negative impact on quality of life
 - b. The speed ramp had caused demonstrable harm to the neighbouring property by way of vibration, noise, speed, danger and damage to the building.
- 2) Cllr Perry who objected to the proposal for the following reasons:
 - c. set out in Appendix A

In response to questions raised by the committee, officers advised that:

- Council Officers would investigate the discharge of conditions for planning consent.
- The location and design of the ramp was due to protection of a nearby Root Protection Zone and to assist in traffic calming measures.

The Committee discussed the application in detail together with views raised by the deputies. The Committee discussed the location of the speed ramp and local buildings and the potential impact it had on neighbouring properties. Throughout debate members agreed that the ramp was acceptable in planning terms and found no reasons for refusal. It was therefore

RESOLVED that the Head of Planning Services be authorised to grant permission for application APP/17/00352 subject to the following condition:

- 1 The development hereby permitted shall be carried out in accordance with the following approved plans:

Drwg. No. 4159/15 Rev C – External Works Layout

Reason: - To ensure provision of a satisfactory development.

37 APP/17/00342 - Foreshore at South Hayling, Sea Front, Hayling Island

The Committee considered the written report, in addition to supplementary information, and recommendation from the Head of Planning Services to grant permission.

The Committee was addressed by the following depute:

1) Dr Sam Cope who supported the proposal for the following reasons:

Set out in Appendix B

In response to questions from the committee, Dr Cope advised:

- There would be no damage to local points of interest such as Winner Bank.
- The process was relatively short lasting between 2-4 weeks.
- Any local concerns would be carefully managed and there would be minimal impact on residents and access to the beach.

The Committee discussed the application in detail together with views raised by the depute. Through the course of the debate members agreed that the proposal would make a positive contribution to the Hayling Island Sea Front and was in the best interests of members of the public as it would maintain safety and help to reduce risks of flooding. It was therefore

RESOLVED that

(A) the Development Management Committee, as 'competent Authority' for the purposes of an Appropriate Assessment under Regulation 81 of the 2010 Habitats Regulations, adopts the Appropriate Assessment at Appendix C of the officer's report which concludes that the proposed development would not have a significant effect on the European site subject to appropriate mitigation & conditions as detailed in Appendix C, including Table 1; and

(B) the Head of Planning Services be authorised to grant permission for application APP/17/00342 subject to the following conditions:

1 The development must be begun not later than three years beginning with the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:
BEACH MANAGEMENT PLAN - NON TECHNICAL SUMMARY - REVISION 1.0
ENVIRONMENTAL STATEMENT - BEACH MANAGEMENT PLAN - REVISION 1.0
ENVIRONMENTAL STATEMENT APPENDICES - BEACH MANAGEMENT PLAN - REVISION 1.0
HABITATS REGULATIONS ASSESSMENT REVISION 1.0
PLANNING STATEMENT - BEACH MANAGEMENT PLAN REVISION 1.0
WATER FRAMEWORK DIRECTIVE ASSESSMENT REVISION 1.0
AERIAL BOUNDARY PLAN
Reason: - To ensure provision of a satisfactory development.
- 3 Development shall proceed in accordance with the ecological avoidance and mitigation measures detailed within the Hayling Island Beach Management Plan Environmental Statement and Hayling Island Beach Management Plan Habitats Regulations Assessment (ESCP, March 2017) unless otherwise agreed in writing by the Local Planning Authority. All avoidance and mitigation features shall be implemented in strict accordance with the agreed details.
Reason: To protect biodiversity in accordance with the Conservation Regulations 2010, Wildlife & Countryside Act 1981, the NERC Act (2006), NPPF and Policy CS 11 of the Havant Borough Core Strategy March 2011
- 4 The activities hereby permitted shall only take place between 06.00 - 22.00 hours on Mondays - Fridays and not at all on weekends and all recognised Public Holidays.
Except for :
I. the discharging of dredged material from the hopper barges (rainbowing) which can take approximately 2 hours either side of high tide over any 24 hour period
II. And if emergency works are required, which need to take place as and when necessary.
Reason: To limit the impacts on neighbouring properties, the highway network and features of ecological importance in the area in accordance with policies CS11 and CS16 of the Havant Borough Core Strategy 2011
- 5 Development shall proceed in accordance with the submitted Construction Environmental Management Plan (CEMP) (ESCP, May 2017) for the September 2017 programme unless otherwise agreed in writing by the Local Planning Authority. All avoidance and mitigation features shall be implemented in strict accordance with the agreed details.
Reason: To protect biodiversity in accordance with the Conservation Regulations 2010, Wildlife & Countryside Act 1981, the NERC Act (2006), NPPF and Policy CS 11 of the Havant Borough Core Strategy March 2011.

- 6 Prior to the commencement of each phase/campaign of development activities a Construction Environment Management Plan (CEMP) shall be submitted to and agreed in writing by the Local Planning Authority. This shall include details of all avoidance and mitigation measures in relation to ecological features, to be informed by ongoing survey and monitoring works. In addition it will identify how works will comply with the requirements of the Bathing Waters Directive, to ensure that the works are acceptable and will not have an impact on the Water Framework Directive Bathing Water Protected Area.

Reason: To protect biodiversity in accordance with the Conservation Regulations 2010, Wildlife & Countryside Act 1981, the NERC Act (2006), NPPF and Policy CS 11 of the Havant Borough Core Strategy March 2011.

38 Appointment of Chairman

RESOLVED that Cllr Hughes be appointed as Chairman for the next meeting of the Development Management Committee.

The meeting commenced at 5.00 pm and concluded at 7.20 pm

.....
Chairman

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NON EXEMPT

HAVANT BOROUGH COUNCIL

Development Management Committee

APPLICATIONS FOR DEVELOPMENT AND OTHER DEVELOPMENT CONTROL MATTERS REPORT BY THE EXECUTIVE HEAD OF PLANNING AND BUILT ENVIRONMENT

Applications to be determined by the Council as the Local Planning Authority

Members are advised that all planning applications have been publicised in accordance with the Code of Practice for Publicity of Planning Applications approved at Minute 207/25/6/92, and have been referred to the Development Management Committee in accordance with the Delegation Procedure for Determining Planning Applications 'Red Card System' approved at minutes 86(1)/4/97 and 19/12/97.

All views of consultees, amenity bodies and local residents will be summarised in the relevant report only if received prior to the report being prepared, **otherwise** only those views contrary to the recommendation of the Executive Head of Planning and Built Environment will be reported **verbally** at the meeting of the Development Management Committee.

Members are reminded that all letters received are placed upon the application file and are available for Development Management Committee Members to read on request. Where a member has concerns on such matters, they should speak directly to the officer dealing with the planning application or other development control matter, and if appropriate make the time available to inspect the file and the correspondence thereon prior to the meeting of the Development Management Committee.

The coded conditions and reasons for refusal included in the recommendations are set out in full in the Council's Manual of Model Conditions and Reasons for Refusal. The standard conditions may be modified to meet the specific circumstances of each individual application. Members are advised to bring their copies to the meeting of the Development Management Committee.

In reaching decisions on the applications for development and other development control matters regard should be paid to the approved development plan, all other material considerations, the views of consultees, the recommendations of the Executive Head of Planning and Built Environment, and where applicable the views of the Site Viewing Working Party.

The following abbreviations are frequently used in the officers' reports:

EHPBR	Executive Head of Planning and Built Environment
HCSPR	Hampshire County Structure Plan - Review
HBLP	Havant Borough Local Plan (comprising the adopted Core Strategy 2011 and saved policies from the District Wide Local Plan 2005. A related emerging document is the Draft Allocations Plan 2012)
HWLP	Hampshire, Portsmouth & Southampton Minerals & Waste Local Plan
NPPF	National Planning Policy Framework 2012
HBCCAR	Havant Borough Council Conservation Area Review
AONB	Area of Outstanding Natural Beauty
CA	Conservation Area
LB	Listed Building included in the list of Buildings of Architectural or Historic Interest
SAC	Special Area of Conservation
SINC	Site of Importance for Nature Conservation
SPA	Site identified as a Special Protection Area for the protection of birds under the Ramsar Convention
SSSI	Site of Special Scientific Interest
FP	Definitive Footpath
POS	Public Open Space
TPO	Tree Preservation Order
HBC	Havant Borough Council
GPDO	Town & Country Planning (General Permitted Development) Order
DMPO	Town & Country Planning (Development Management Procedure)(England) Order 2010 amended
UCO	Town & Country Planning (Use Classes) Order
S106	Section 106 Agreement
Ha.	Hectare(s)
m.	Metre(s)

RECOMMENDATIONS

To reach decisions on the applications for development and other matters having regard to the approved development plan, all other material considerations, the views of consultees, the recommendations of the Executive Head of Planning and Built Environment, and where applicable the views of the Site Viewing Working Party.

Implications

Resources:

None unless detailed in attached report.

Legal:

Details set in the individual reports

Strategy:

The efficient determination of applications and making of other decisions under the Town & Country Planning Acts in an open manner, consistent with the Council's planning policies, Regional Guidance and Central Government Advice and Regulations seeks to ensure the appropriate use of land in the public interest by the protection and enhancement of the natural and historic environment; the promotion of the economy; the re-use of existing buildings and redevelopment of 'brownfield' sites; and the promotion of higher densities and good quality design in all new development all of which matters assist in promoting the aims of the Council's Community Strategy.

Risks:

Details set out in the individual reports

Communications:

Details set out in the individual reports

Background Papers:

Individual Applications with Case Officers

Andrew Biltcliffe
Head of Planning

Nick Leach
Monitoring Officer

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Site Address: 139 Elm Grove, Hayling Island, PO11 9ED
Proposal: Changes to approved planning permission APP/15/01436 comprising of reduction in window size and relocation of entrance door on front elevation, addition of conservatory, smoking shelter to rear elevation and erection of fence and gates to rear boundary. (Part retrospective Application.)
Application No: APP/17/00025 Expiry Date: 01/03/2017
Applicant: Mrs Keillor
Agent: Mr Murray Case Officer: Daphney Haywood
I J Murray Associates
Ward: Hayling West

Reason for Committee Consideration: At the request of Councillor Wilson

HPS Recommendation: **GRANT PLANNING PERMISSION**

Executive Summary

The application site is located on the west side of Elm Grove , within the defined urban area of Hayling Island, and comprises a ground floor A4 (Bar and Restaurants) use with residential flat above. The proposal is a retrospective application for a rear extension to provide additional bar space for customers and a smoking shelter, and the proposed erection of fencing/gates to the rear.

The site adjoins residential development on all sides and the proposal has been the subject of extended negotiations with the applicant and the Environmental Health Officer to address issues of nuisance. In particular the adjacent flats to the north have bathroom windows on the boundary facing the application site. The rear extension as constructed has a conservatory style roof and the plans have been amended to provide internal insulation to reduce noise emissions. The amended plans are considered to satisfactorily address the impact and approval is recommended.

1 Site Description

- 1.1 139 Elm Grove, Hayling Island, comprises a former retail unit with ancillary flat above on the west side of Elm Grove. The ground floor retail unit has recently been converted to a Public House under planning permission APP/15/01436 - Change of Use from A1 (Retail) to A4 (Bar and Restaurants).
- 1.2 The site is located within a parade of similar units which run from No's 127 to 139 Elm Grove. This side of Elm Grove lies outside the designated shopping centre and a number of the units have been converted to residential use, such that residential properties adjoining the site on both sides.
- 1.3 The property has a rear access off St Mary's Road which is primarily residential in character comprising a mixture of dwelling types including flats and bungalows, with bungalow development being located opposite the application site.

2 Relevant Planning History

APP/15/01436 - Change of Use from A1 (Retail) to A4 Bar and Restaurants. Permitted 17/02/2016.

APP/16/00544 - Proposed new garage to rear of property and insertion of windows to both side elevations. Permitted 14/07/2016

In November 2016 officers of the Planning Enforcement team were contacted regarding building operations under way at the premises. An investigation revealed that alterations had been made to the front elevation facing Elm Grove; a conservatory style structure had been added to the rear of the premises; a smoking shelter had been added beyond the conservatory which was physically attached to the adjoining property; and works had commenced in respect of a new boundary treatment fronting St Marys Road.

The current application has been submitted in an effort to resolve these breaches of planning control.

3 Proposal

3.1 The current application follows on from the Planning Enforcement investigation and seeks consent for a number of alterations from the scheme granted approval under APP/15/01436:

- (i) Reduction in window size and relocation of entrance door on front elevation;
- (ii) Addition of conservatory to rear elevation - the originally constructed roof of the structure to be replaced by an insulated roof structure;
- (iii) Addition of smoking shelter to rear elevation - this to be altered so that it is no longer physically attached to the adjoining property
- (iv) Erection of 1.8m fence and gates to rear boundary.

3.2 In many respects the application is a retrospective one, and the details of the application have been the subject of extensive negotiations including on site meetings and discussions with the Environmental Health Officer. Further to those discussions the plans have been amended to propose insulation to the roof of the single storey extension (currently of a conservatory type construction) and the provision of acoustic plasterboard to the existing internal brickwork to provide some noise absorption.

4 Policy Considerations

National Planning Policy Framework 2012

Havant Borough Local Plan (Core Strategy) March 2011

- CS14 (Efficient Use of Resources)
- CS16 (High Quality Design)
- CS17 (Concentration and Distribution of Development within the Urban Areas)
- DM10 (Pollution)

Havant Borough Local Plan (Allocations) July 2014

- AL1 (Presumption in Favour of Sustainable Development)
- AL2 (Urban Area Boundaries and Undeveloped Gaps between Settlements)

Listed Building Grade: Not applicable.

Conservation Area: Not applicable.

5 Statutory and Non Statutory Consultations

Development Engineer

The Highway Authority have no adverse comment

Hampshire Constabulary

No comments received

Traffic Management

There is insufficient information on the application form for me to make any comment regarding Traffic Management

Environmental Health Manager

Further from the proposal to sound insulate the conservatory (walls and ceiling) I believe that this would make great progress towards minimising noise transfer between the public house and the residential units adjacent. Notwithstanding the above, should doors or windows to the conservatory be left opened, the noise from the public house would have a direct exit path and therefore any insulation work carried out within would be rendered useless. In order to ensure that adequacy, it may be worth putting a condition relating to keeping doors and windows closed at all times whilst the public house is open to the public. The door should only be opened during egress and access but left closed at any other time.

This may mean that the Public house may want to add air conditioning to the area, which may require consent.

When the "smoking shelter" is in use, the door from the conservatory to the shelter must be kept closed at all times so to prevent cigarette, cigar, pipe or any tobacco smoke product to enter the premises.

In relation to having guests in the rear area of the public house, I have now conducted further investigation, and the noise from guests using the rear open area is clearly audible in nearby property. Further, the sound of either snooker/pool playing (shouting, racking of balls, cue hitting the cue ball/other balls) is very audible together with music played within the public house and this may be due to doors/windows being opened. As I have mentioned, I have not completed the assessment but should the noise from the Public house amount to a statutory noise nuisance, I shall have no option but to serve an abatement notice on the owner/occupier and/or person responsible, requiring the abatement of the nuisance.

Officer Note:- *The use of the yard area is not restricted by condition and the use of the yard in association with the A4 use is lawful. The snooker table and source of music is located within the original building and should it be considered a statutory nuisance this would be an environmental health issue and the Environmental Health team has powers to deal with this.*

6 Community Involvement

This application was publicised in accordance with the Council's Code of Practice for Publicity of Planning Applications approved at minute 207/6/92 (as amended), as a result of which the following publicity was undertaken:

Number of neighbour notification letters sent: 13

Number of site notices: One

Statutory advertisement: Not applicable.

Number of representations received: 7

Summary:

In support

- 6.1 Access through the rear of the premises is imperative not only for use as an emergency exit but also for disabled access. It is dangerous for the main drop off point of the building to be the front, parking at the front is very inconvenient and dangerous.
- 6.2 Smoking has migrated to the front entrance of the main building and frankly looks repulsive and dirty, also the litter from the cigarettes is becoming an issue and does not look inviting for anyone to come into the public house let alone walk down that side of the street.
- 6.3 The previous Hayling Billy pub was located nearby and therefore many residents were already aware of general noise from both the previous, and new premises. The landlady has already put many precautions in place to keep noise to a minimum and there have not been complaints from neighbours.
- 6.4 Moderated open air drinking should not be an issue, many pubs on the island also take precautions for anti social behaviour and noise and neighbours have no complaints because of this. Some noise is expected when living near to a public house or bar.
- 6.5 When the new Hayling Billy was opened, a letter was sent to residents requesting any objections and there weren't any. I feel as though Hayling is a close knit community and therefore most of the public are mindful of the residents.

Objections

- 6.6 Concerns regarding gatherings at the rear of the building, especially smokers who congregate and the residents nearby are subjected to anti social language and noise. Anything that encourages open air drinking should be discouraged in this densely populated area.
- 6.7 The proposed "lean to"/smoking area is only 150mm from the adjacent building, which means that flat 145 (on the ground floor) cannot open one of their windows – this being the main access to vacate the flat if there was a fire.
- 6.8 There has been "flashing" attached onto the adjacent property without any written consent from the landowner.
- 6.9 The volume of noise from the customers/staff using the outside area where the hut/conservatory lies is excessive, and antisocial behaviour takes place in this area.
- 6.10 The development poses a fire risk and a security risk by giving ease of entry from the Hayling Billy roof into flat 145A. Currently the buildings are already there despite the Hayling Billy not having any planning permission to erect these.
- 6.11 The noise level that can be heard inside the adjoining flat from the customers using the area/buildings outside the back of the Hayling Billy is unbearable. It is both loud and constant and can be heard throughout the whole day and evening (up to 12 hours). The proposed sound proofing will not make sufficient difference to address the nuisance.
- 6.12 The smoking shelter could have been located away from the adjacent flats; alternatively smoking can take to the front of the premises
- 6.13 Consideration should be given to a restricted time that customers can use the designated smoking area and that may well be a long time before the actual licensing hours finish -

12 hours is far too long.

- 6.14 Black mould on the outside wall of the adjoining flat has appeared since the (illegal) building has been attached to the flat wall affecting health.

Officer Comment: *The majority of the points raised are considered in Section 7 below. With regard to 6.8 and 6.14, the submitted plans indicate that the current lead work which ties in with the neighbouring property would be removed and the work would not infringe the boundary - any allegations of property damage are a civil matter and not a material planning consideration.*

7 Planning Considerations

- 7.1 Having regard to the relevant policies of the development plan it is considered that the main issues arising from this application are:

- (i) Principle of development
- (ii) Impact upon residential amenity
- (iii) Impact upon the streetscene

- (i) Principle of development

- 7.2 The application site is situated within an urban area where further development is considered acceptable subject to the usual development management criteria. Planning permission has previously been granted for the use of the premises as a Class A4 Bar and Restaurant and the premises are now operating as a public house under this permission. The proposed development would provide additional floorspace to serve the approved use including a single storey extension and attached smoking shelter together with alterations to the Elm Grove frontage and St Marys Road means of enclosure.

- (ii) Impact upon residential amenity

- 7.3 The site adjoins and is located in proximity to a number of residential properties, and the current retrospective application has been submitted in response to an enforcement complaint. The existing Public House use, owing to its nature and operating hours into the evenings and at weekends, has the potential to result in noise and pollution nuisance to adjoining properties - this must be weighed in the balance with the benefits that derive from enabling a community use to expand.

- 7.4 At the time of the granting of planning permission for Class A4 use under APP/15/01436, consideration was given to the small extent of the floorspace. The current application extends this by a modest single storey extension of approx 9 sq m and a smoking shelter; however, due to the nature of the extension with a conservatory type construction, the development has resulted in reported noise nuisance to the neighbouring property at No.145A Elm Grove. Additionally the representations make reference to nuisance from smoking fumes. In this regard it should be noted that the neighbouring properties have bathroom windows in close proximity to the smoking shelter.

- 7.5 In response to the objections received, negotiations have been undertaken between the officers and the applicant, and the plans have been amended to provide for noise insulation to the roof of the single storey extension and plaster board to its internal brick work to provide some noise absorption. The Environmental Health officer has been extensively involved in negotiations and, as now submitted, is satisfied that the proposed measures will assist in reducing the impact to an acceptable level. With respect to the smoking shelter consideration has been given to redesigning this - but owing to site restrictions, technical requirements for smoking shelters, together with the fact that the

rear entrance enables access for disabled customers, it has not been possible to relocate this away from the windows with the neighbouring property. It does however, have a solid roof and is not sited directly under the windows in question. Clearly the use of the shelter is resulting in perceived nuisance and loss of amenity, however, the principally affected windows of the adjoining building do not serve habitable rooms but serve 2 bathrooms and as such it is considered that any loss of amenity to these particular non-habitable rooms does not support refusing the application. With respect to the single storey extension, providing the structure is insulated as now proposed, it is considered that this would provide sufficient mitigation to reasonably address any impact arising from its use.

- 7.6 Concern has been raised regarding the opportunity the extensions afford to access the adjacent first floor flat, however, the design of the extensions are consistent with a normal single storey structure and do not provide stairs/ ladder which would provide access to the roof. With respect to obstruction of ground floor windows in adjacent flats, these serve bathrooms, and all habitable rooms to the flats can be accessed off the entrance or, in the case of an emergency, non-obstructed windows fronting either St Marys Road or Elm Grove.

(iii) Impact upon the streetscene

- 7.7 The property has two frontages - Elm Grove and St Mary's Road. With respect to Elm Grove the original front elevation of the building has been altered to provide a new entrance and window detailing. Given the mixed commercial character of the area these alterations are not considered to be detrimental to the street scene.
- 7.8 Regarding St Mary's Road the smoking shelter and boundary fencing will be visible from this frontage. The smoking shelter, which has already been constructed, is set back from the road and is not prominent in the street scene. With regard to the proposed 1.8m high boundary fence and gates, substantial front boundary fencing is not currently a feature of the area and to avoid an adverse visual impact the proposed fencing, which incorporates double gates to allow for delivery vehicles, has been amended from the original submission to be 1.5m high with 0.3m high trellis. It would comprise vertical boarding of a non-solid (i.e. 'hit and miss') appearance, and as such is not considered to be overly prominent and would have an acceptable visual impact.

8 Conclusion

- 8.1 This largely retrospective application relates to relatively modest works to augment an existing community (Public house) use; however, because of the nature of the use and the form of construction of the additions the development has resulted in concerns regarding residential nuisance. The proposal has been the subject of extensive negotiations and it is considered that as now proposed, with the incorporation of insulation measures, the impact of the rear extension would be sufficiently mitigated. With respect to the smoking shelter this is of limited size and does not lie directly under the windows in the adjacent flats and as such its impact is not sufficient to support a refusal. Therefore it is considered that the proposal can now be recommended for permission.

9 **RECOMMENDATION:**

That the Head of Planning be authorised to **GRANT PLANNING PERMISSION IN RETROSPECT** for application APP/17/00025 subject to the following conditions:

- 1 The development must be begun not later than three years beginning with the date of this permission.
Reason: To comply with the requirements of Section 91 of the Town and

Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsary Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Proposed plans A103 received 8 June 2017
Proposed Elev's and views A104 received 8 June 2017.
Agents email of the 6 June in respect to polyurethane foam

Reason: - To ensure provision of a satisfactory development.

- 3 The development hereby permitted shall not be occupied/ used by the public until the noise insulation measures set out on plan A103 received 8 June 2017 and detailed in Agents email of the 6 June 2017 in respect to polyurethane foam have been fully implemented and shall thereafter be retained unless otherwise agreed in writing by the local planning authority.

Reason: To protect the amenities of nearby residential properties and having due regard to policy DM10 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 4 The premises shall only be open for trade or business between the hours of 11.00 and 23.20.

Reason: To protect the amenities of nearby residential properties and having due regard to policy DM10 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 5 No external extraction and filtration equipment shall be erected without the prior written approval of the Local Planning Authority. Any such approved scheme shall be implemented fully in accordance with the approved details and shall remain operational thereafter.

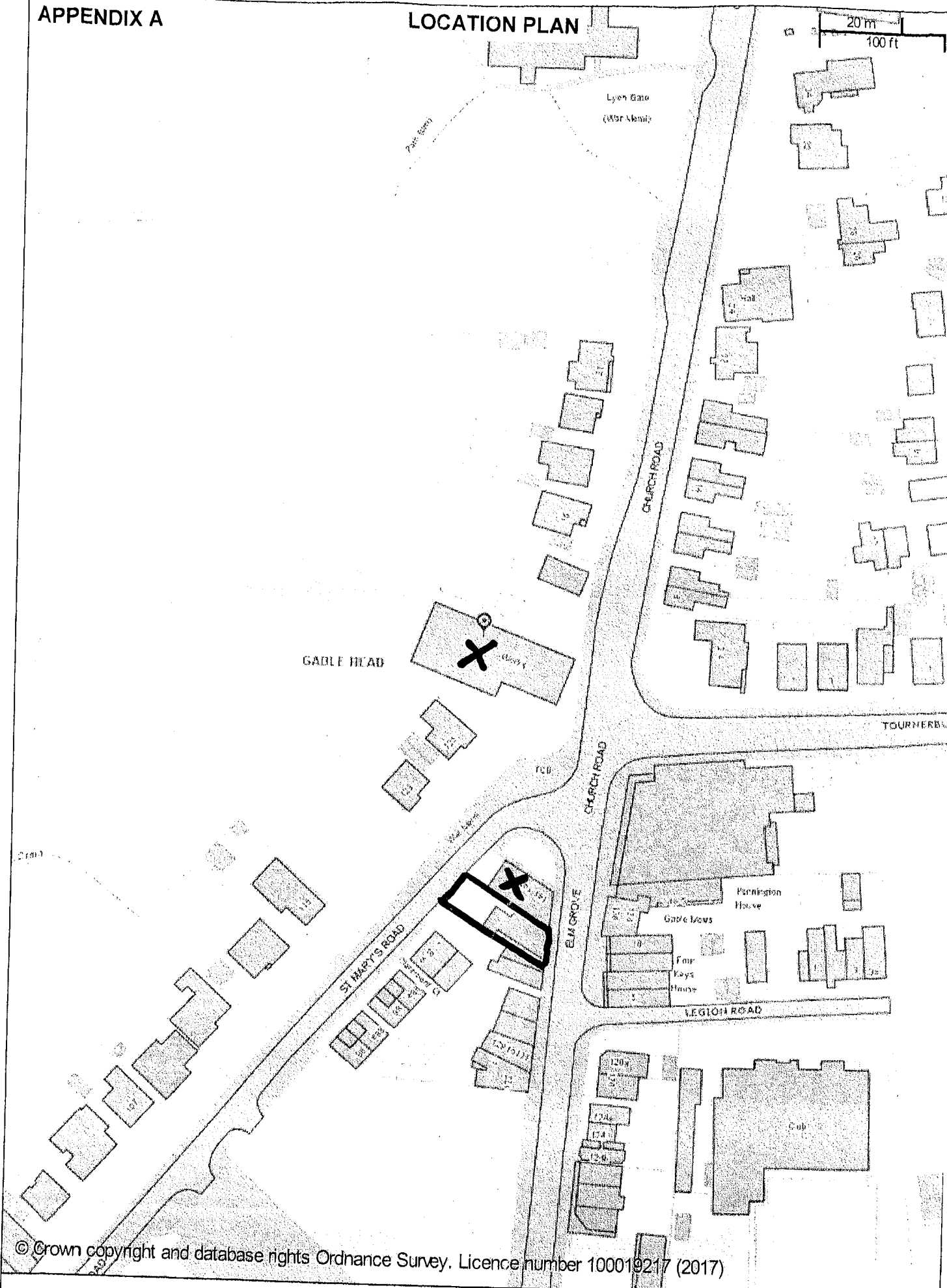
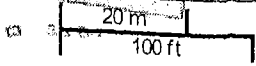
Reason: To safeguard the amenities of the locality and/or occupiers of neighbouring property and having due regard to policies CS16 and DM10 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

Appendices

- (A) Location Plan
- (B) Floor plans as approved under APP/15/01436
- (C) Elevations as approved under APP/15/01436
- (D) Proposed Floor Plans
- (E) Proposed Elevations
- (F) Proposed Views

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LOCATION PLAN



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139 Elm Grove Hayling Island - APP/17/00025

Scale: 1:1250

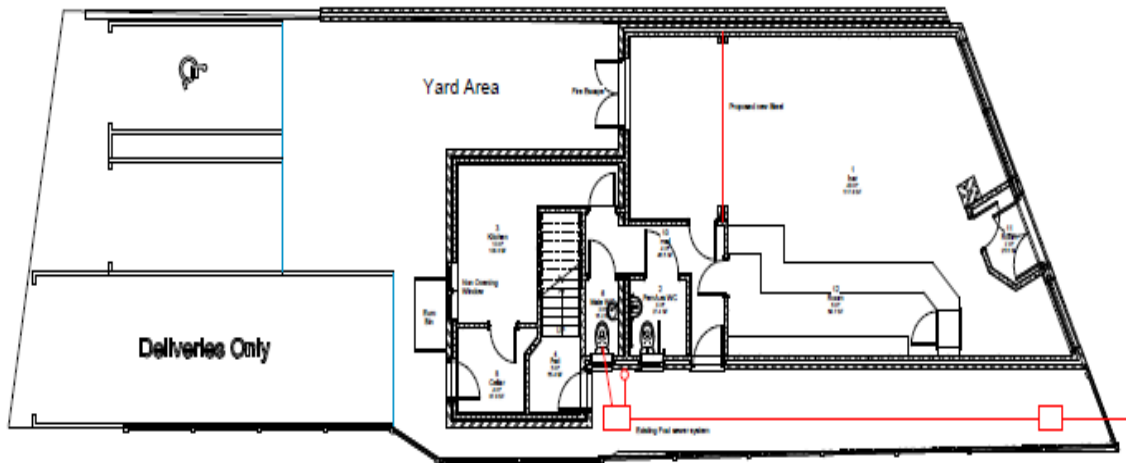
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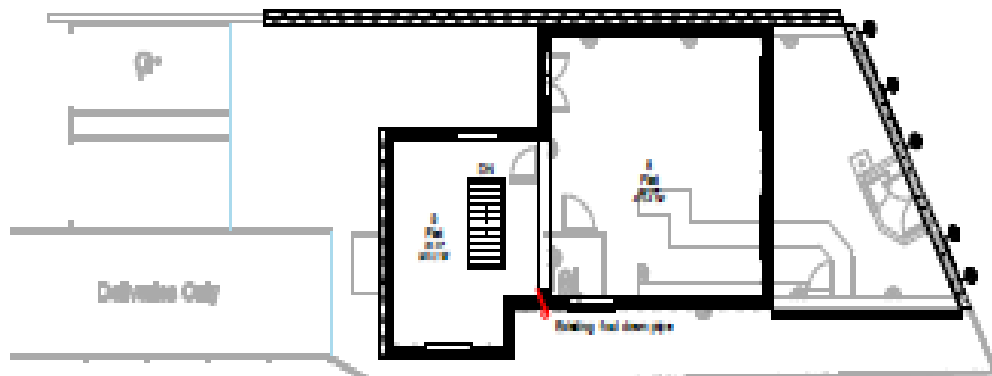
Objectors marked X, Supporters are marked /.
Please note not all objectors are listed on this plan.

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Appendix B - Proposed Floor Plans as approved
under APP/15/01436



Ground Floor Plan Scale 1:50 when printed at A1 with no borders



First Floor Flat Scale 1:100 at A1

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Appendix C Elevations as Approved
under APP/15/01436



① East
1 : 100



② North
1 : 100



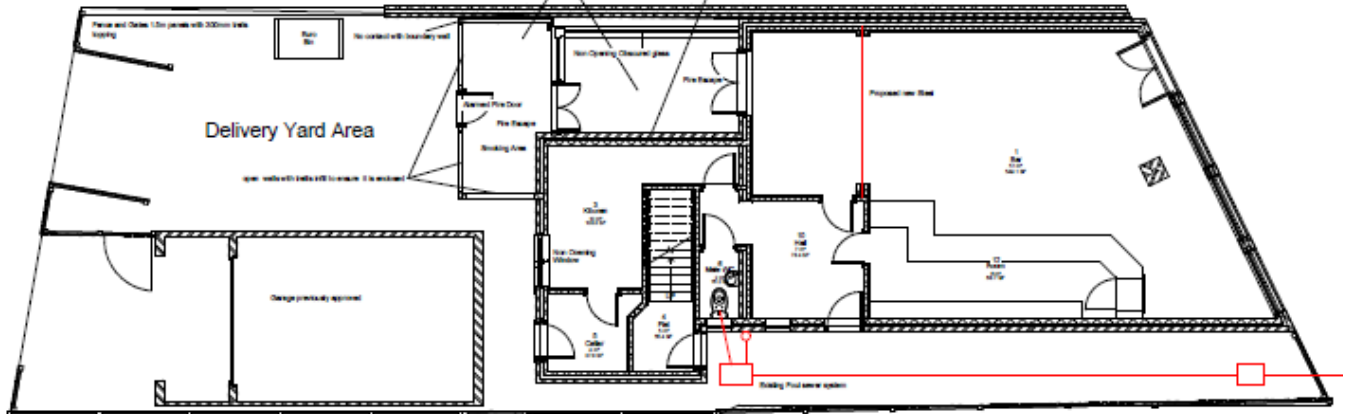
③ South
1 : 100



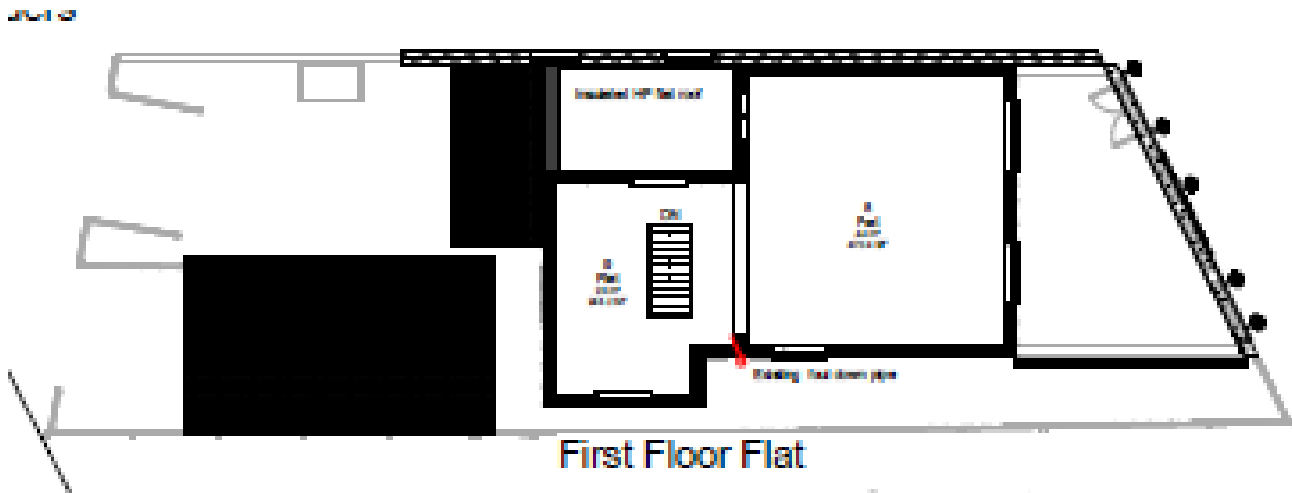
④ West
1 : 100

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Appendix D – Proposed Floor Plans



Ground Floor Plan



First Floor Flat

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Appendix E – Proposed Elevations



North



South



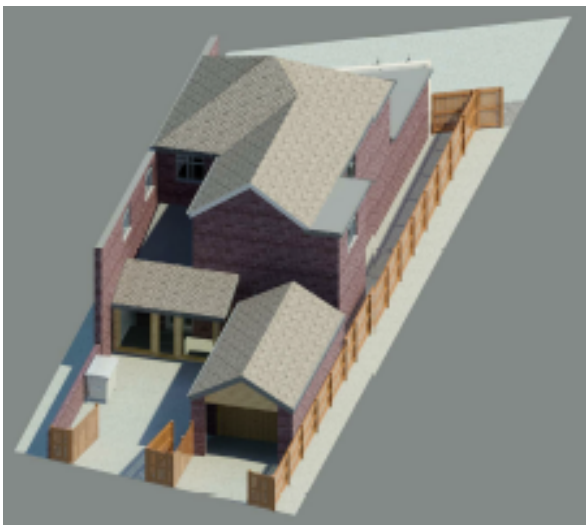
East



West

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Appendix F – Proposed Views



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typically gabled corrugated iron roofs, and few external openings. The oldest outbuilding in the complex is a grade II listed 18th century eight bay barn, with original threshing doors still intact. The frontage of the yard has an additional 1970s lean-to that once served as further stables. This has recently been used as ancillary farm storage and for poultry, contained by chicken fence. Its simple brick and timber clad construction is subdivided into 3 stalls, and protected by a corrugated metal roof. Though it does not share the stable's historical value, its footprint is still significant. The same applies to the unstable, roofless East side of the property, which has deteriorated but still forms part of the history of the farm. This part once extended to meet the stables on the west side of the yard to create a fully enclosed corner.

- 1.3 Internally, the main stable block is partitioned into 3 bays, with its largest bay featuring subdividing blockwork walls and supporting wooden posts, inset in concrete footings. The walls have been distempered with lime and mortar, but this is slowly disintegrating to expose the original brickwork. The floor consists of unstable floor joists, which require substantial repair. The cambered timber window cases are also in a poor state, but features such as the chimney can be left intact, and merely cleaned up. The bay that the chimney features in has harnesses still hanging from its walls, suggesting that it was once a tack room, something that was usually only present on larger, more prestigious estates.

2 Planning History

APP/17/00658 - Listed Building application for renovation and conversion of stable building, replacement of 1970's lean-to, and re-construction of derelict east end to create 1No. 3 bedroom 2 storey dwelling - this parallel listed building application is currently under consideration and can be found elsewhere on this agenda.

APP/16/01234 - Change of use from redundant farm building to B1 office use. Permission 16/2/17

APP/16/01129 - Change of use from agricultural building to a flexible use (within classes A1, A2, A3, B1, B8, C1 or D2) subject to prior approval covering flooding, highways and transport issues, noise impact and contamination risks on site. Withdrawn 30/11/16

APP/10/01015 - Application for Lawful Development Certificate for change of use from agricultural use to carpentry workshop. Certificate Granted 21/5/15

APP/10/01014 - Application for Lawful Development Certificate for change of use from agricultural use to commercial storage (of motor vehicles). - Granted certificate 21/5/15

Part of the wider site: APP/14/01164 - Solar installation comprising ground-mounted solar panels, associated switch room building and landscaping. Permission 24/12/14

3 Proposal

- 3.1 The proposal is for the renovation and conversion of the stable building, replacement of 1970's lean-to, and re-construction of derelict East end to create 1No. 3 bedroom 2 storey dwelling. To facilitate the practical conversion of the building it is proposed to install a timber glazed assembly to allow light into the full height living space. The proposals have been designed to retain as much of the former and existing character of the structure as possible, retaining important internal features, including part of the highly-significant stable, and reusing existing doors, windows and walls where possible. There are a number of internal alterations proposed which are considered under the parallel listed building application.

- 3.2 The derelict east side of the property is proposed to be reconstructed like-for-like to accommodate a double height lounge with an overlooking gallery space. Its roof trusses are proposed to be exposed and match the existing structure. The more recent 1970's addition was poorly constructed and is proposed to be replaced by a new extension to accommodate 2 bedrooms, a large family bathroom. It also includes a utility room that provides an alternative entrance to the property. This new construction would follow a similar scale and shape of the original lean-to.
- 3.3 The application proposes two on-site car parking spaces to be located within the existing grassed courtyard to the south west of the building, which would then lead to the proposed garden area for the property.
- 3.4 The application was submitted with:
- Design, Access and Heritage Statement
 - Method Statement
 - Phases I and II Ecology Report
 - Plans and section of the proposed development

4 Policy Considerations

National Planning Policy Framework 2012

Havant Borough Local Plan (Core Strategy) March 2011

CS11	(Protecting and Enhancing the Special Environment and Heritage of Havant Borough)
CS16	(High Quality Design)
CS17	(Concentration and Distribution of Development within the Urban Areas)
CS20	(Transport and Access Strategy)
CS21	(Developer Requirements)
DM13	(Car and Cycle Parking on Residential Development)
DM8	(Conservation, Protection and Enhancement of Existing Natural Features)
DM9	(Development in the Coastal Zone)

Havant Borough Local Plan (Allocations) July 2014

AL1	(Presumption in Favour of Sustainable Development)
AL2	(Urban Area Boundaries and Undeveloped Gaps between Settlements)

Havant Borough Council Borough Design Guide SPD December 2011

Havant Borough Council Parking SPD July 2016

Listed Building Grade: Grade II
 Conservation Area: Not applicable.

5 Statutory and Non Statutory Consultations

Arboriculturalist

No Objection

Building Control, Havant Borough Council

Private road/drive should be checked to ensure compliance with Requirement B5 (Fire Authority Access).

Bin storage to be provided.

County Archaeologist

No Objection

County Ecologist

No objection subject to conditions:

The application is accompanied by a (draft) Phase 1 Survey report (EcoSupport, January 2017) and a Phase 2 Bat Surveys report (EcoSupport, June 2017). The building has been shown to support roosting bats, with at least seven individuals of three species observed emerging from the structure. These roosts are considered to be low status, non-breeding roosts.

This development will affect bats, which receive strict legal protection under UK law by the Wildlife and Countryside Act 1981 (as amended) and under EU law by the Conservation of Habitats and Species Regulations 2010 (commonly referred to as the Habitats Regulations). Where developments affect EPS, permission can be granted unless the development is likely to result in a breach of the EU Directive underpinning the Habitats Regulations and is unlikely to be granted an EPS licence from Natural England to allow the development to proceed under a derogation from the law.

Will the development result in a breach of the EU Directive?

Yes, unmitigated, the development has potential to result in harm to individual bats and result in impacts to the favourable conservation status of bat species locally.

Is the development unlikely to be licensed?

An EPS licence can only be granted if the development proposal is able to meet three tests:

1. the consented operation must be for 'preserving public health or public safety or other imperative reasons of overriding public interest including those of a social or economic nature and beneficial consequences of primary importance for the environment'; (Regulation 53(2)(e))
2. there must be 'no satisfactory alternative' (Regulation 53(9)(a)); and
3. the action authorised 'will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in their natural range' (Regulation 53(9)(b)).

It is for you as the case officer to assess the proposals against the first two tests and you may wish to ask for further information from the applicant. In order to assess the development against the third test, sufficient details must be available to show how killing/injury/disturbance of bats will be avoided and how any loss or damage to habitat will be compensated. In this case some standard mitigation measures are proposed and the redeveloped site will incorporate bat roosting features suited to the species present: this will include a purpose-built void for long-eared bats as well as gaps within roof materials for pipistrelle bats. These are acceptable and therefore I can state that the third test is likely to be met. It is the responsibility of the applicant to ensure that a European Protected Species Mitigation licence is obtained prior to works.

The site has also been shown to support roosting barn owls and therefore a purpose-built loft area, with suitable access, is to be provided, as well as a barn owl nest box in a suitable location nearby within the site. These measures are acceptable.

If you are minded to grant permission can I recommend that ecological mitigation and enhancement measures are secured by condition.

"Development shall proceed in accordance with the ecological mitigation, compensation and enhancement measures detailed within the Phase 1 Survey report (EcoSupport, January 2017) and Phase 2 Bat Surveys report (EcoSupport, June 2017) unless otherwise agreed in writing by the Local Planning Authority. All ecological mitigation, compensation and enhancement features shall be permanently retained and maintained.

Reason: to protect biodiversity in accordance with the Conservation Regulations 2010, Wildlife & Countryside Act 1981, the NERC Act (2006), NPPF and Policy CS 11 of the Havant Borough Core Strategy March 2011."

Highways Engineer, Development Engineer

The Highway Authority have no adverse comment to this application.

Historic England

No comment - the application can be determined in accordance with the advice from the Council's own expert Conservation advice

National Amenity Society - Ancient Monuments Society

No response

Natural England Government Team

No Objection - subject to financial contribution towards Solent Recreation Mitigation Partnership (SRMP)

Waste Services Manager

No response

6 Community Involvement

This application was publicised in accordance with the Council's Code of Practice for Publicity of Planning Applications approved at minute 207/6/92 (as amended), as a result of which the following publicity was undertaken:

Number of neighbour notification letters sent: 5

Number of site notices: 1.

Statutory advertisement: 30/06/2017

Number of representations received: 0

7 Planning Considerations

7.1 Having regard to the relevant policies of the development plan it is considered that the main issues arising from this application are:

- (i) Principle of development
- (ii) Impact on the character and setting of the Listed Building
- (iii) Impact upon the character and appearance of the area
- (iv) Impact upon residential amenity

- (v) Highway considerations
- (vi) Impact on Ecology
- (vii) Drainage
- (viii) Developer Contributions

(i) Principle of development

7.2 Osier Dell is designated in the Havant Borough Local Plan (Allocations) 2014 as being within a 'non-urban' area on Hayling Island. This policy restricts development for residential properties in these areas, unless it meets the policies for exceptional development in rural areas as set out in the National Planning Policy Framework.

7.3 Paragraph 55 of the NPPF promotes sustainable development in rural areas and advocates that new isolated homes in the countryside should be avoided. There is a proviso within this paragraph that where there are special circumstances such as the development being the optimal viable use of a heritage asset or where the development would re-use redundant or disused buildings and lead to an enhancement to the immediate setting, such development would be acceptable. Furthermore paragraph 131 of the NPPF outlines that in determining planning applications Local Planning Authorities should take account of "the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation."

7.4 Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Planning Authorities to have special regard to the desirability of preserving listed buildings or their setting or any features of special architectural or historic interest which they possess. The site is an important grade II listed designated heritage asset, which is in a state of disrepair. The NPPF requires the consideration of any harm to a heritage asset to be weighed against the public benefits of the proposal. The Conservation Officer has viewed the building and recognises that substantial investment is required to secure a future for the building. In the absence of such investment, the building will continue to deteriorate. To survive in the long term, buildings require an economic use, sufficient to sustain the cost of restoration and ongoing maintenance. It is therefore considered that there would be public benefit in restoring the building and that the principle of the conversion of the building for residential use is acceptable, as it would conserve this designated heritage asset.

(ii) Impact on the character and setting of the Listed Building

7.5 Where development affects the setting of a listed building Section 16 of the Planning (Listed Buildings & Conservation Areas) Act 1990 states: "In considering whether to grant planning permission, the Local Planning Authority shall have special regard to the setting of listed buildings". All proposals for conversion have implications for historic fabric and character. However, this building is far better adapted to such change than many more agricultural structures - the impact of the internal changes are considered under the listed building application APP/17/00658 considered elsewhere on this agenda. With regard to the external changes a strong characteristic of agricultural buildings is the simple unpunctuated roof. The use of rooflights is best avoided, but where essential should be kept to a minimum. It is considered that the proposed number and position of rooflights in this instance, is appropriate in this context.

7.6 The proposed extension, which would form two bedrooms and a bathroom will replace the existing 1970's lean-to. The existing structure is of no historical merit, the proposed extension is slightly wider and deeper, however it is considered to maintain a subordinate scale to the main building. In addition the proposal would use high quality materials which will add a contrast between the old and new, but would not clash with or compromise the historic structure. It is therefore considered that the proposed external alteration would conserve the character and setting of the listed building.

(iii) Impact upon the character and appearance of the area

7.7 The application site is visually contained within the existing complex and courtyard. The external changes to the buildings are minimal. The proposed residential curtilage for the dwelling is contained within the existing walled area, along with the proposed car parking. As such the wider impact of the development would be minimal, in combination with the site being largely screened, with any public vantage points being long distance in nature. In addition the car parking is arranged in informal nature and will replace what is currently used for storage of large agricultural vehicles. It is therefore considered that given the layout, size and scale of the proposals that it would not have a significant adverse impact on the character and appearance of the area.

7.8 It is acknowledged that there is a need for control over night sky pollution in non-urban areas and that no lighting should be in such locations unless necessary and justified accordingly. A condition would control external lighting on the site and would be subject to the agreement of the Local Planning Authority.

(iv) Impact on residential amenity

7.9 The site adjoins Manor House to the south, it is considered that given the degree of separation and re use of the existing building, in combination with the high level boundary wall, that the development would not have a significant adverse impact on the amenities of neighbouring properties with regard to loss of sunlight/daylight, overlooking or overbearing impact.

(v) Highway considerations

7.10 The proposed development would provide two car parking standards in accordance with adopted parking standards. It is also considered that the proposed development would not have a significant adverse impact on the safety or flow flow of the highway network. Furthermore it is noted that the Highway Authority do not object to this application.

(vi) Impact on Ecology

7.11 The application is accompanied by a (draft) Phase 1 Survey report (EcoSupport, January 2017) and a Phase 2 Bat Surveys report (EcoSupport, June 2017). The building has been shown to support roosting bats, with at least seven individuals of three species observed emerging from the structure - roosting barn owls are also supported on the site.

7.12 Given the potential adverse impact of the development on a European Protected Species (EPS), the Council's Consultant Ecologist has highlighted the need to consider 3 tests which will govern whether a licence is likely to be granted for the works from Natural England, and without which the development will not be able to proceed. Those tests are:

1. *the consented operation must be for 'preserving public health or public safety or other imperative reasons of overriding public interest including those of a social or economic nature and beneficial consequences of primary importance for the environment'; (Regulation 53(2)(e))*
2. *there must be 'no satisfactory alternative' (Regulation 53(9)(a)); and*
3. *the action authorised 'will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in their natural range' (Regulation 53(9)(b))*

7.13 With regard to the first test, the development proposed will secure a viable long term

residential use for a nationally-listed heritage asset, which is considered to be a matter of overriding public interest. With regard to the second test, it is not considered that that viable long term use can be secured without intervention in the building, given its current deteriorating condition. The works proposed are considered to be reasonable and necessary to enable the conversion to residential use to take place. With regard to the third test the development will incorporate bat roosting features suited to the species present, this will include a purpose-built void for long-eared bats as well as gaps within roof materials for pipistrelle bats. This information has been assessed by the Council's Consultant Ecologist who has raised no objection, subject to these mitigation measures being secured by condition. Taken together, it is considered that the 3 tests necessary in order for a licence to be granted for the works can be expected to be met, and the development will not have an unacceptable impact on protected species.

(vii) Drainage

- 7.14 The proposal does not significantly increase surface water as the footprint of the building remains substantially unchanged. In relation to foul drainage, the proposal involve connecting to the mains sewer, which is considered appropriate.

(viii) Developer Contributions

- 7.15 The proposed development would be subject to CIL contributions. The building remains as ancillary storage for the farm, and most recently poultry. As the conversion involves a change of use from storage and poultry to residential, it conforms to one of CIL's exemptions. This particular exemption states that if a building is in continuous use for 6 months of the past 36 months then the floor area is seen as a change of use, and no CIL charge can be made.
- 7.16 This development would also increase the number of dwellings within the 5.6km zone identified as significant in potentially increasing recreational pressure on the Solent SPA. Natural England's advice with regard to all new housing development within this zone is that it is likely to have a significant effect on the SPA. Policy DM24 of the Allocations Plan which was adopted on 30 June 2014 covers this issue and allows for a financial contribution to be made towards mitigation measures. This is set at £181 per dwelling to the Solent Recreation Mitigation Project (SRMP). For the proposed dwelling, plus admin and monitoring fee, a payment of £200 is due.

8 Conclusion

- 8.1 The proposed conversion of the stable to a residential use would be the optimal viable use to secure the preservation of this heritage asset, which would outweigh any harm of a new dwelling in the 'Non urban' area of Hayling Island. The retention of the building, the removal of the dilapidated 1970's addition and the sensitive design of the restoration works would conserve and enhance the listed barn building and setting of neighbouring listed buildings. The development would be viewed within the existing rural residential context and would not harm the landscape or the amenities of neighbouring properties. The proposal would also provide suitable mitigation for protected species and has provided a financial contribution towards the Solent Recreation Mitigation Project (SRMP)

9 RECOMMENDATION:

That the Head of Planning be authorised to **GRANT PERMISSION** for application APP/17/00654 subject to the following conditions:

- 1 The development must be begun not later than three years beginning with the

date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

LOCATION & BLOCK PLAN 5384 1000

PROPOSED ROOF PLAN 5384 1101

PROPOSED GROUND FLOOR PLAN 5384 1201

PROPOSED FIRST FLOOR PLAN 5384 1203

PROPOSED FIRST FLOOR PLAN WITH OVERHEADS 5384 1204

PROPOSED AND EXISTING SOUTH ELEVATION 5384 1300

PROPOSED AND EXISTING NORTH ELEVATION 5384 1301

PROPOSED AND EXISTING EAST ELEVATION 5384 1302

OPENING DETAIL (CASEMENT HAYLOFT) - 5384 1600

OPENING DETAIL (ENTRANCE TIMBER ASSEMBLY) 5384 1601

OPENING DETAIL (GLAZED DOOR HAYLOFT) 5384 1602

OPENING DETAIL (LOUNGE TIMBER ASSEMBLY) 5384 1603

Reason: - To ensure provision of a satisfactory development.

- 3 Notwithstanding any description of materials in the application no above ground construction works shall take place until samples and a full specification of the materials to be used externally on the extension have been submitted to and approved in writing by the Local Planning Authority. Such details shall include the type, colour and texture of the materials. Only the materials so approved shall be used, in accordance with any terms of such approval.

Reason: To ensure the appearance of the development is satisfactory and having due regard to policies CS11 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

- 4 All new works and works of making good to the retained fabric whether internal or external, shall be finished to match the adjacent work with regard to the methods used and to material, colour, texture and profile.

Reason: To ensure that the character and setting of the listed building is preserved in accordance with policies CS11 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011.

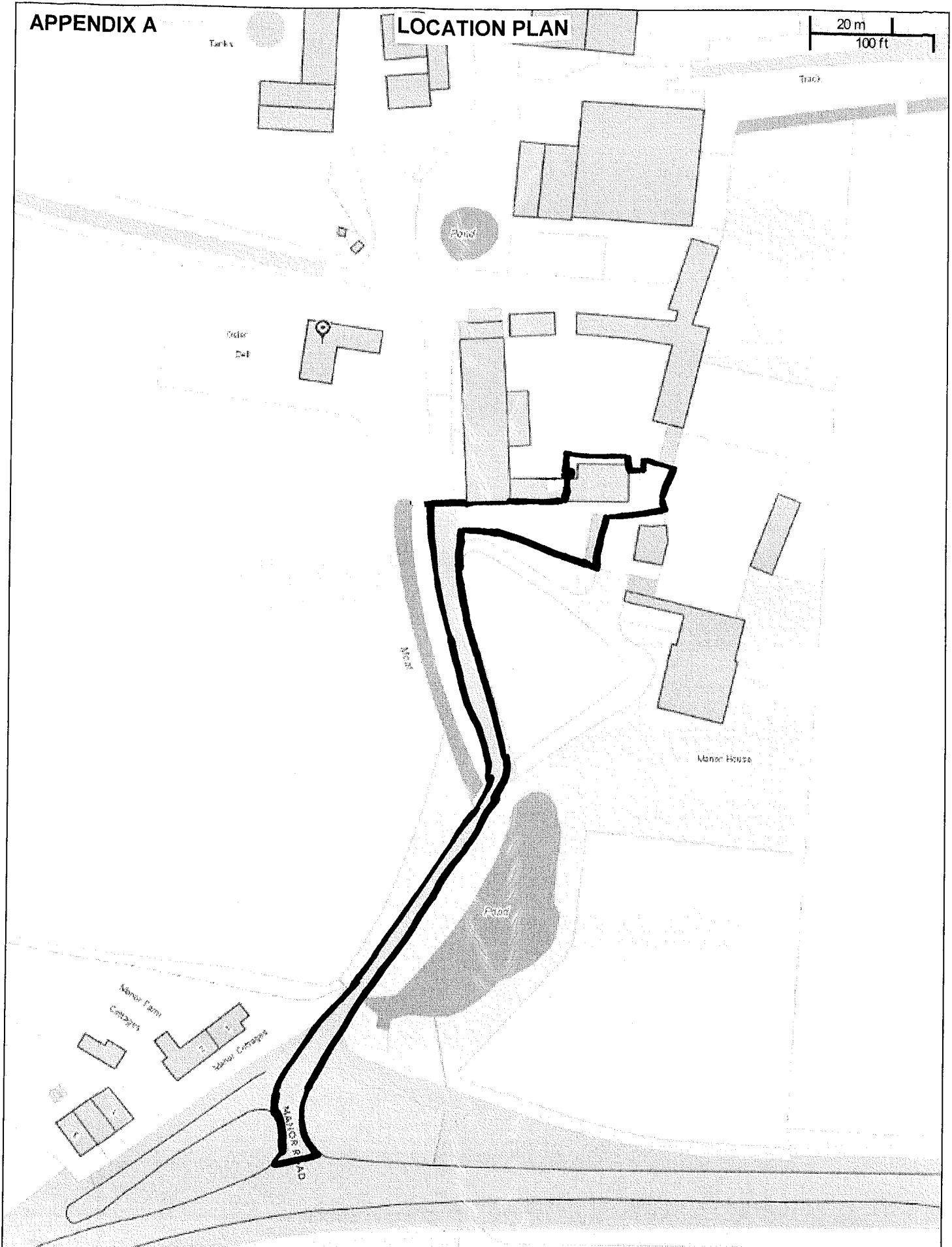
- 5 No vents or flues, plumbing or pipes, other than the rainwater downpipes, shall be fixed to the external faces of the building unless agreed in writing with the Local Planning Authority.

Reason: To ensure that the character and setting of the listed building is preserved in accordance with policies CS11 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011.

- 6 A landscape management plan, including long term design objectives, details of hard and soft landscape works including planting plans; written specifications (stating cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme, shall be submitted to and approved in writing by the Local Planning Authority prior to any above ground construction works. The landscape management plan shall be carried out in accordance with the approved details. Any trees or shrubs planted or retained in accordance with this condition which are removed, uprooted, destroyed, die or become severely damaged or become seriously diseased within 5 years of planting shall be replaced within the next planting season by trees or shrubs of similar size and species to those originally required to be planted.
Reason: To ensure the appearance of the development is satisfactory and having due regard to policies CS11, CS16, DM8 and DM9 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 7 Development shall proceed in accordance with the ecological mitigation, compensation and enhancement measures detailed within the Phase 1 Survey report (EcoSupport, January 2017) and Phase 2 Bat Surveys report (EcoSupport, June 2017) unless otherwise agreed in writing by the Local Planning Authority. All ecological mitigation, compensation and enhancement features shall be permanently retained and maintained.
Reason: To protect biodiversity in accordance with the Conservation Regulations 2010, Wildlife & Countryside Act 1981, the NERC Act (2006), NPPF and Policy CS 11 of the Havant Borough Local Plan (Core Strategy) March 2011.
- 8 No external lighting shall be installed on the site unless details of the position, height and type of lights have been submitted to and approved in writing by the local planning authority. The external lighting shall be installed and operated in accordance with the approved scheme and no other lighting shall be installed or operated.
Reason: To prevent light pollution and in the interests of the amenity of the area and neighbouring properties in accordance with policy CS16 and DM10 of the Havant Borough Local Plan (Core Strategy) 2011.

Appendices

- (A) Location Plan
- (B) Block Plan
- (C) Proposed Roof and Layout Plan
- (D) Proposed Ground Floor Plan
- (E) Proposed First Floor Plan
- (F) Proposed and Existing South Elevation
- (G) Proposed and Existing North Elevation
- (H) Proposed and Existing East Elevation
- (I) Proposed Section A-A and B-B
- (J) Proposed Section C-C



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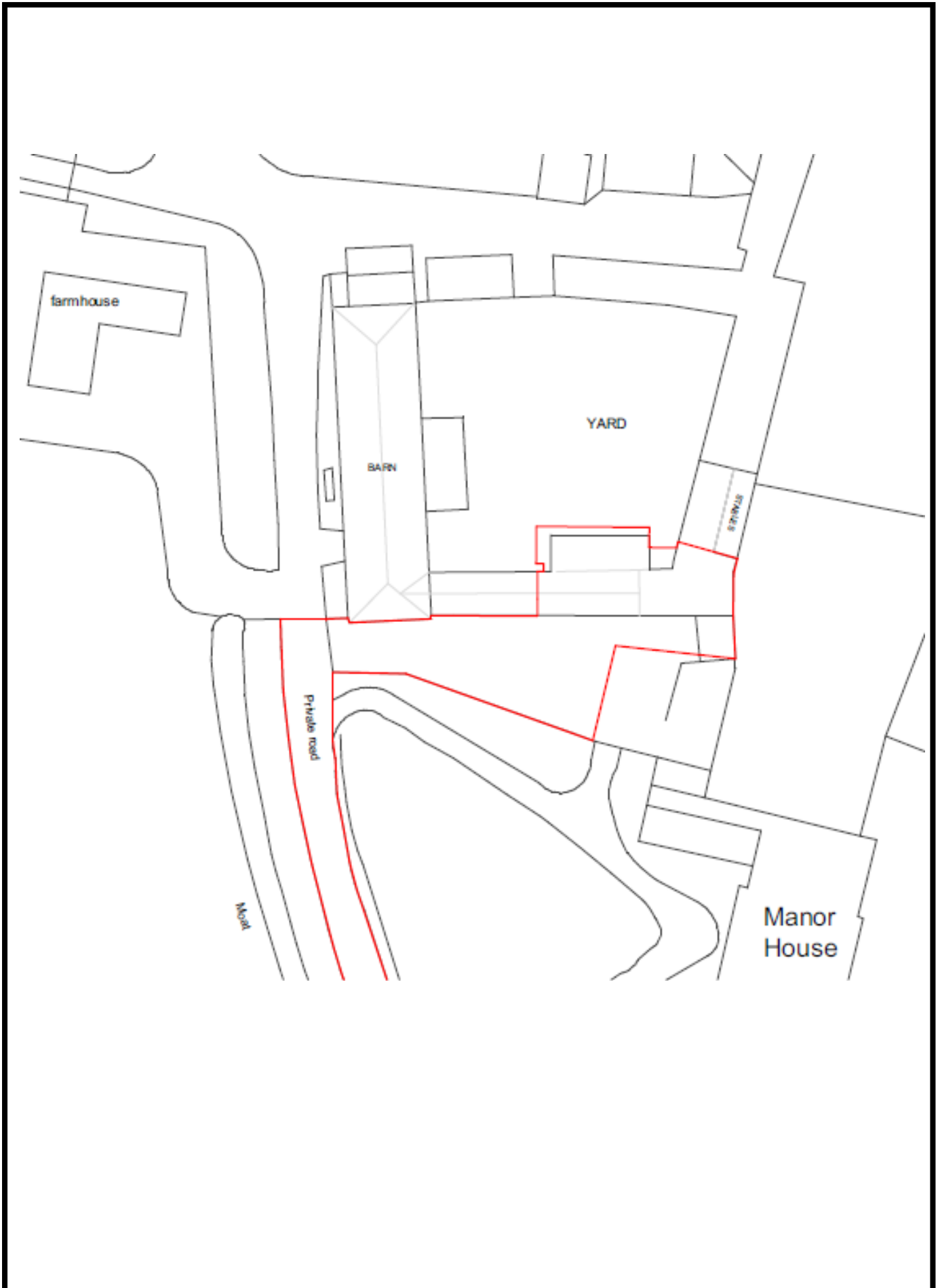
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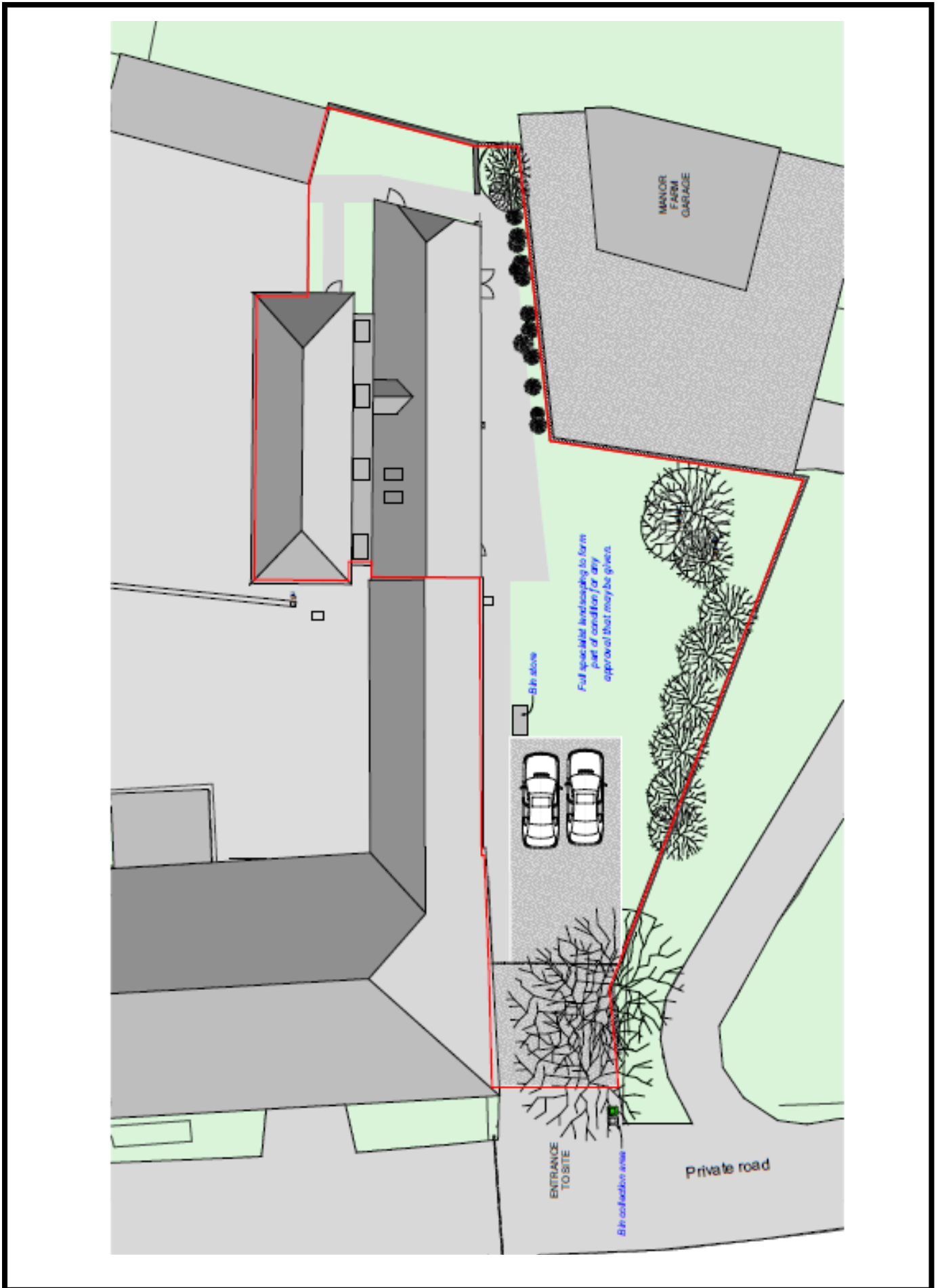
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Objectors are marked with a red circle. Applicants are marked with a blue circle. Please note not all objectors are listed on this plan.

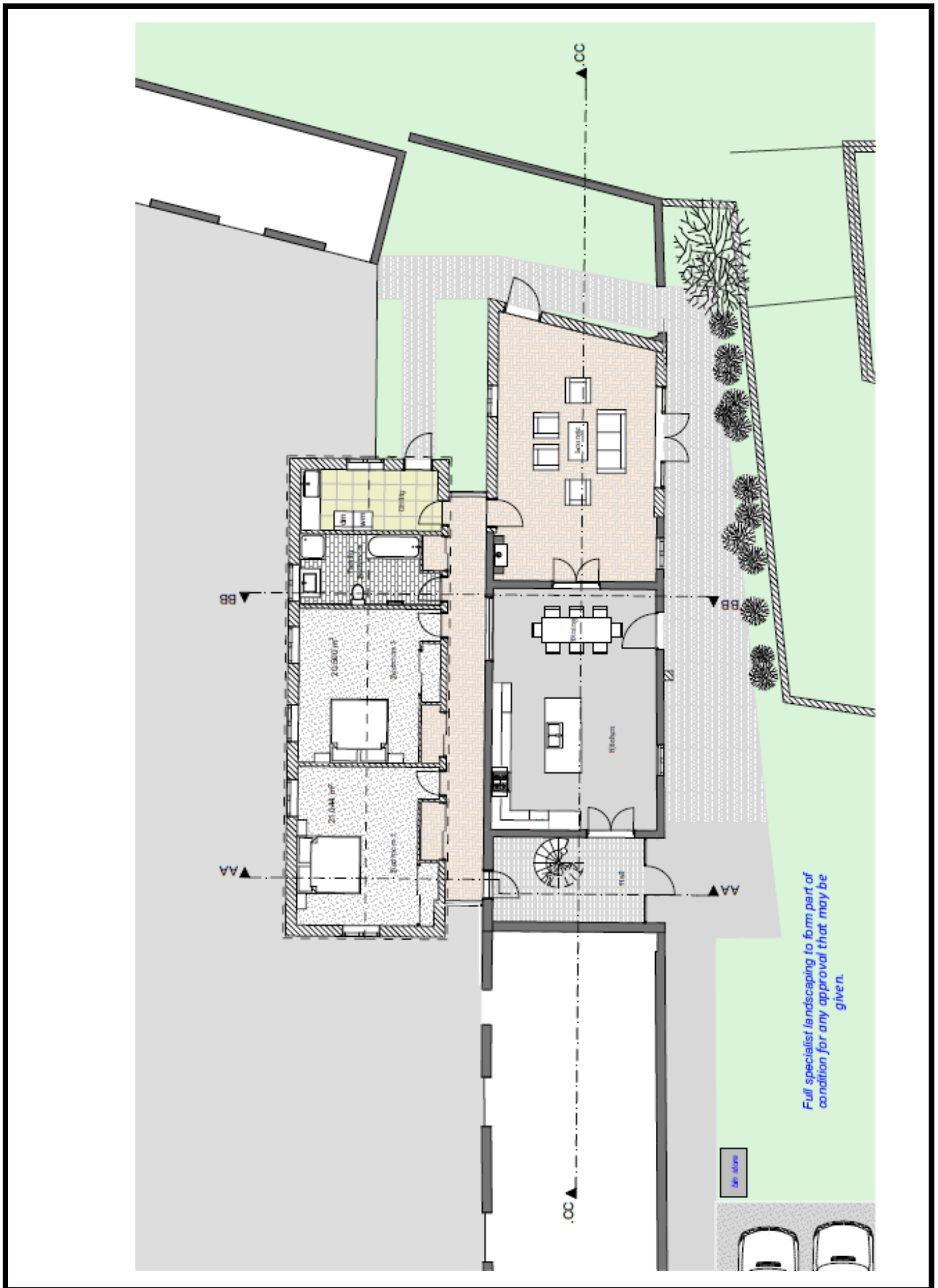
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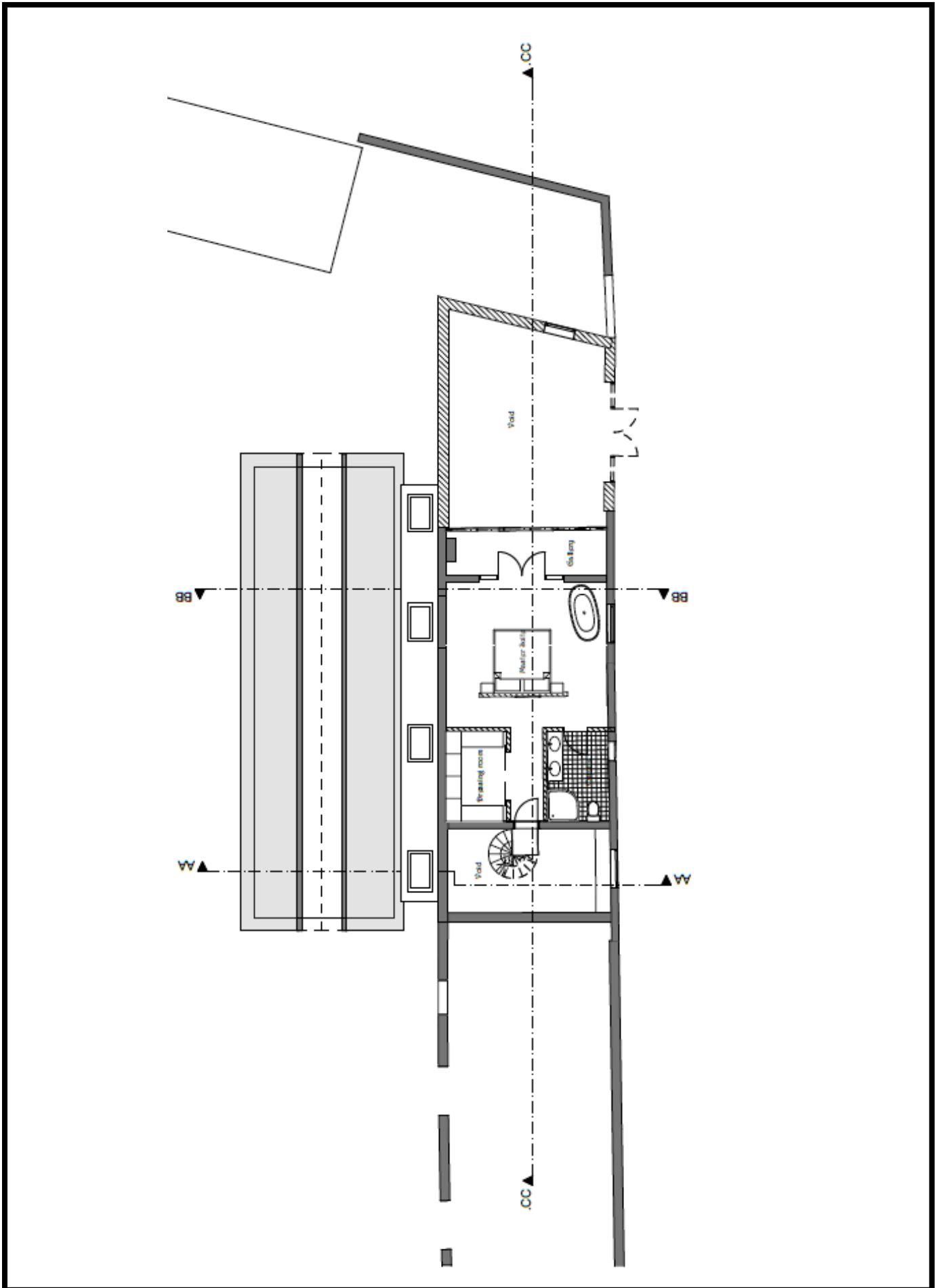
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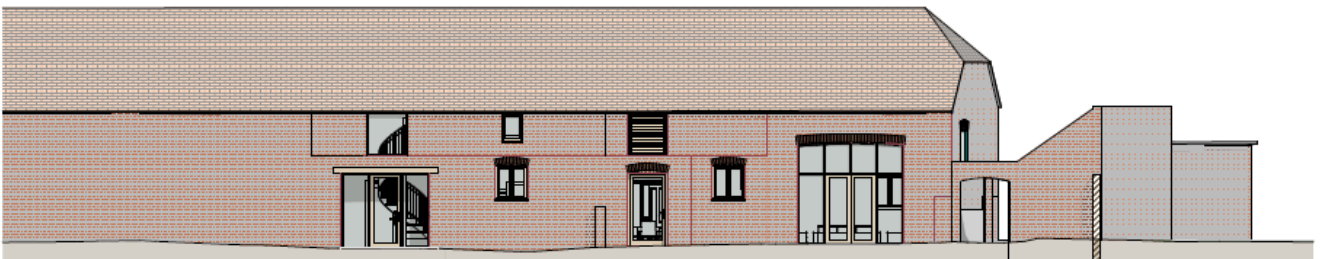


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EXISTING SOUTH ELEVATION

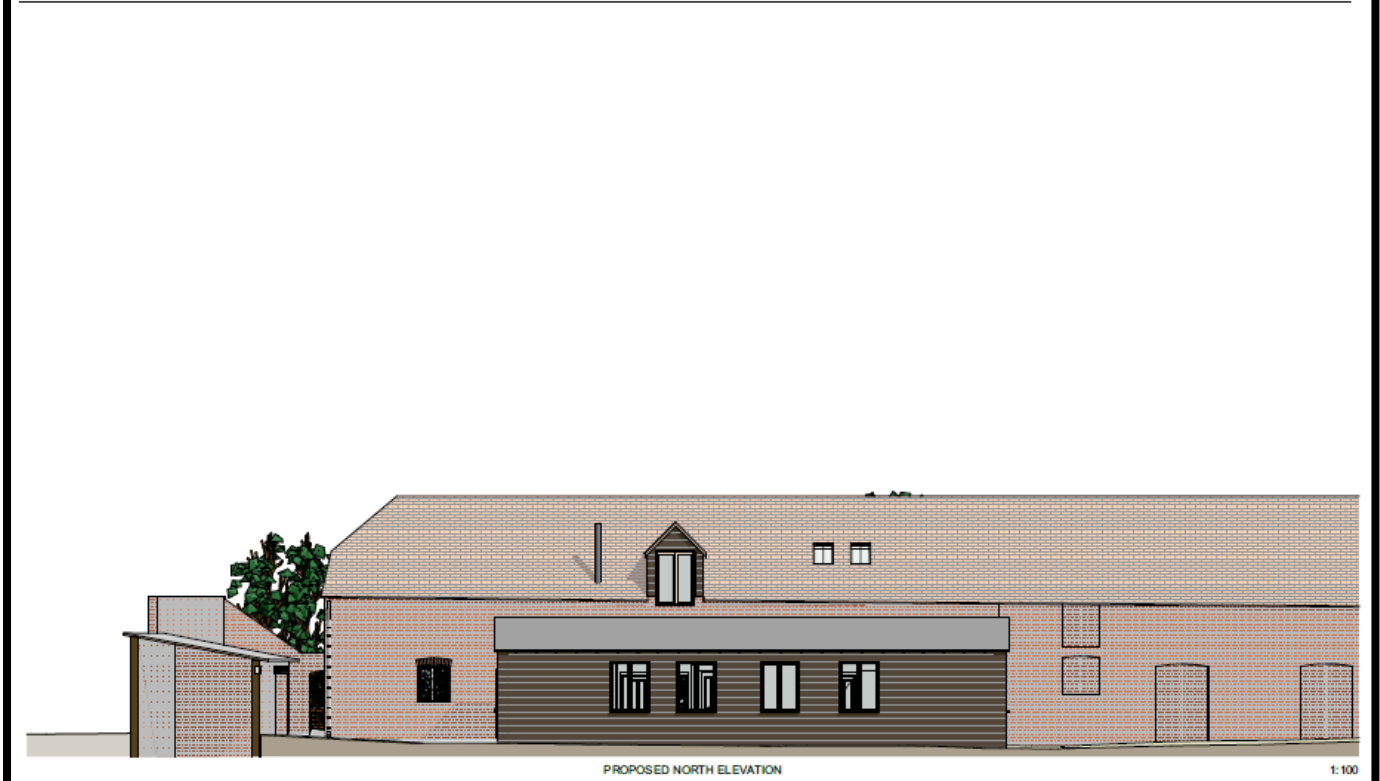
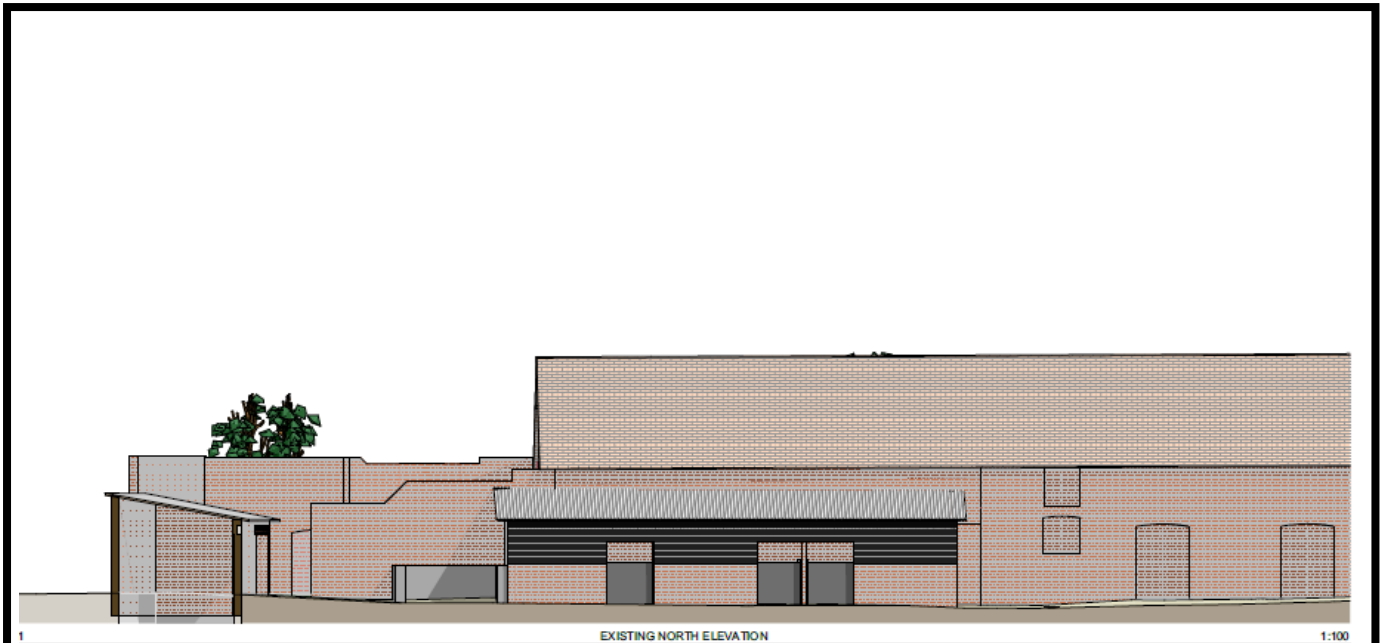
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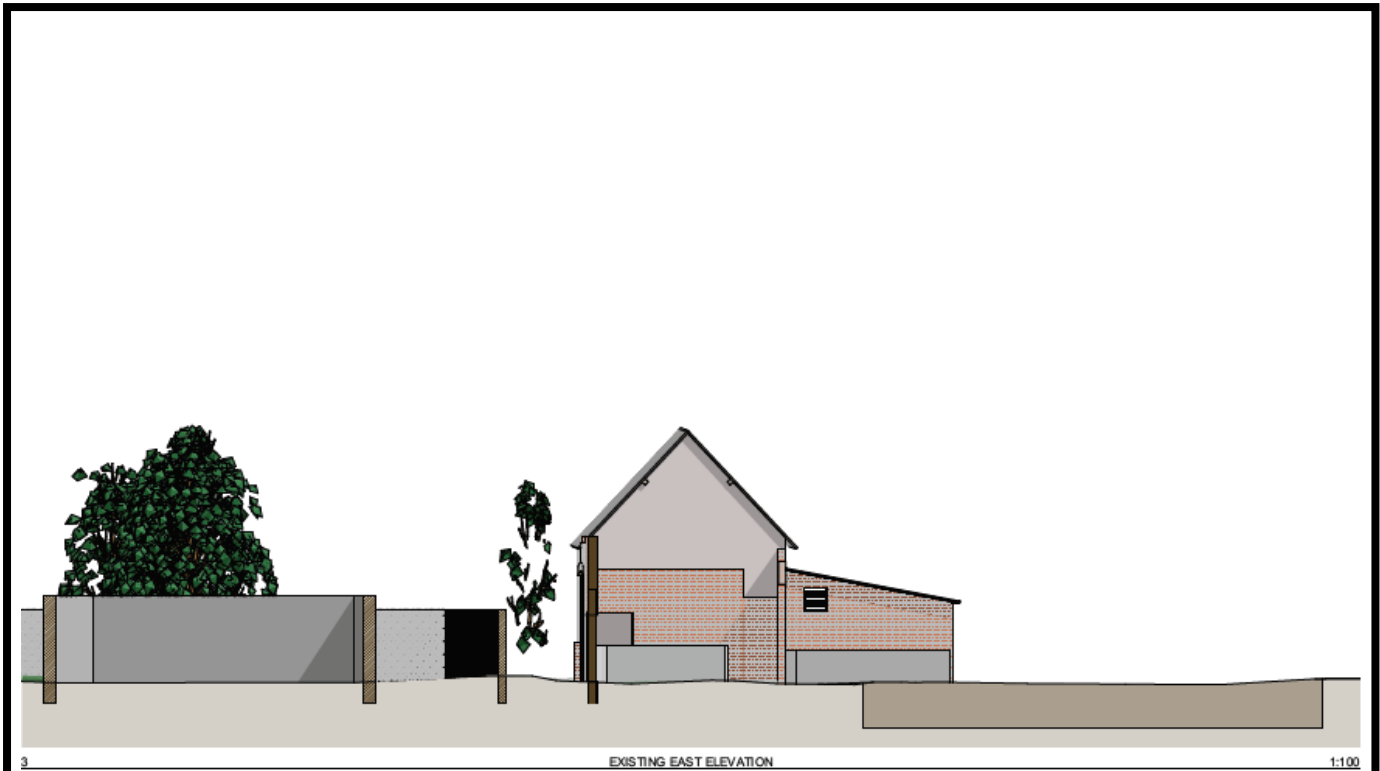
PROPOSED SOUTH ELEVATION

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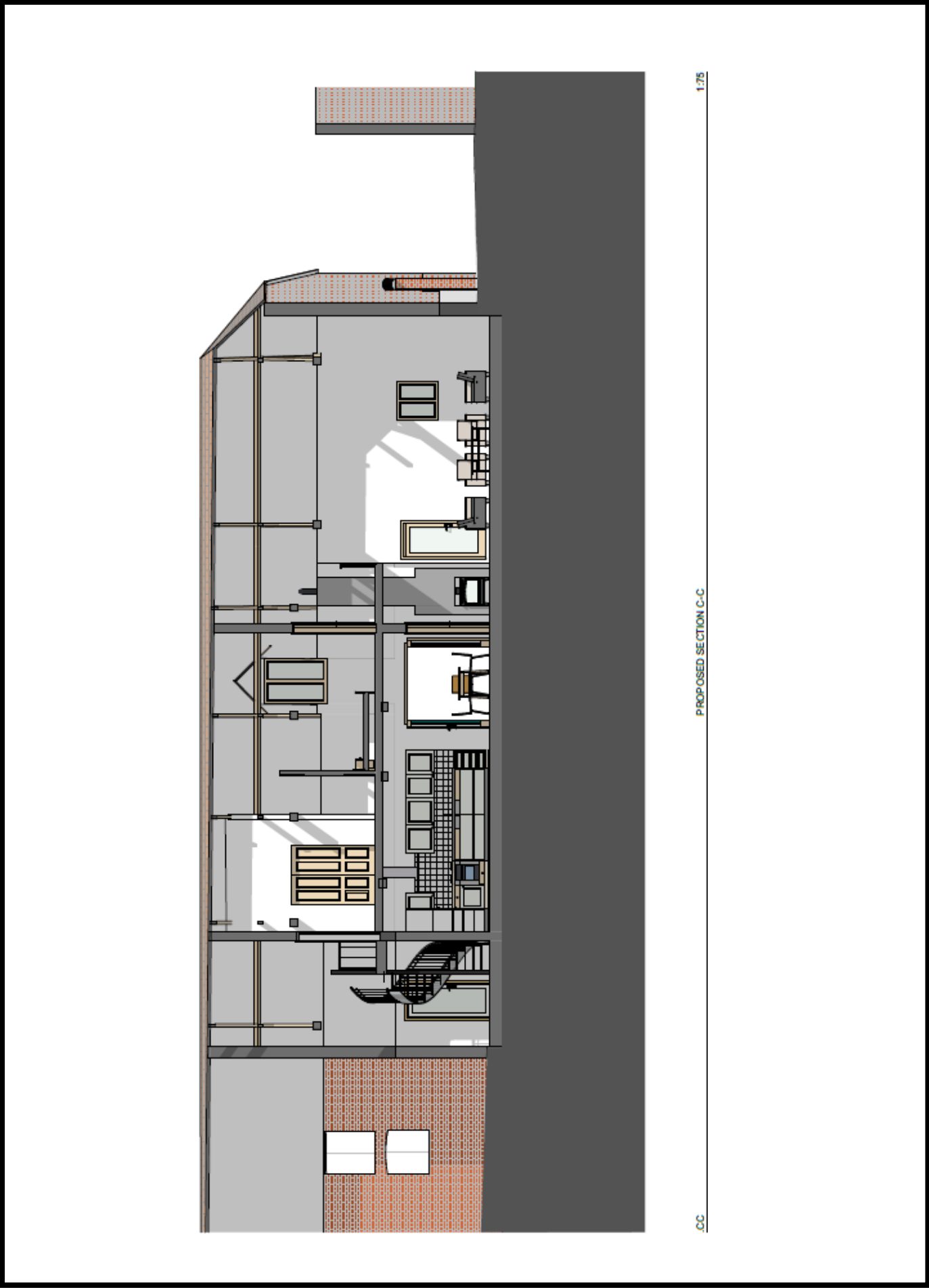
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agricultural outbuildings surrounding this loose courtyard plan are of red brick, with typically gabled corrugated iron roofs, and few external openings. The oldest outbuilding in the complex is a grade II listed 18th century eight bay barn, with original threshing doors still intact. The frontage of the yard has an additional 1970s lean-to that once served as further stables. This has recently been used as ancillary farm storage and for poultry, contained by chicken fence. Its simple brick and timber clad construction is subdivided into 3 stalls, and protected by a corrugated metal roof. Though it does not share the stable's historical value, its footprint is still significant. The same applies to the unstable, roofless East side of the property, which has deteriorated but still forms part of the history of the farm. This part once extended to meet the stables on the west side of the yard to create a fully enclosed corner.

- 1.3 Internally, the main stables block is partitioned into 3 bays, with its largest bay featuring subdividing blockwork walls and supporting wooden posts, inset in concrete footings. The walls have been distempered with lime and mortar, but this is slowly disintegrating to expose the original brickwork. The floor consists of unstable floor joists, which require substantial repair. The cambered timber window cases are also in a poor state, but features such as the chimney can be left intact, and merely cleaned up. The bay that the chimney features in has harnesses still hanging from its walls, suggesting that it was once a tack room, something that was usually only present on larger, more prestigious estates.

2 Planning History

APP/17/00654 - Planning application for renovation and conversion of stable building, replacement of 1970's lean-to, and re-construction of derelict east end to create 1No. 3 bedroom 2 storey dwelling - this parallel planning application is currently under consideration and can be found elsewhere on this agenda.

APP/16/01234 - Change of use from redundant farm building to B1 office use. Permission 16/2/17

APP/16/01129 - Change of use from agricultural building to a flexible use (within classes A1, A2, A3, B1, B8, C1 or D2) subject to prior approval covering flooding, highways and transport issues, noise impact and contamination risks on site. Withdrawn 30/11/16

APP/10/01015 - Application for Lawful Development Certificate for change of use from agricultural use to carpentry workshop. Certificate Granted 21/5/15

APP/10/01014 - Application for Lawful Development Certificate for change of use from agricultural use to commercial storage (of motor vehicles). - Granted certificate 21/5/15

Part of the wider site: APP/14/01164 - Solar installation comprising ground-mounted solar panels, associated switch room building and landscaping. Permission 24/12/14

3 Proposal

- 3.1 The proposal is for the renovation and conversion of the stable building, replacement of 1970's lean-to, and re-construction of derelict East end to create 1No. 3 bedroom 2 storey dwelling. To facilitate the practical conversion of the building it is proposed to install a timber glazed assembly to allow light into the full height living space. The proposals have been designed to retain as much of the former and existing character of the structure as possible, retaining important internal features, including part of the highly-significant stable, and reusing existing doors, windows and walls where possible. There are a number of internal alterations proposed which are considered under this listed building application.

- 3.2 The derelict east side of the property will be reconstructed like-for-like to accommodate a double height lounge with an overlooking gallery space. Its roof trusses will be exposed and match the existing structure. The more recent 1970's addition was poorly constructed and is proposed to be replaced by a new extension to accommodate 2 bedrooms, a large family bathroom. It also includes a utility room that provides an alternative entrance to the property. This new construction follows a similar scale and shape of the original lean-to.
- 3.3 The application proposes two on-site car parking spaces to be located within the existing grassed courtyard, to the south west of the building, which would then lead to the proposed garden area for the property.
- 3.4 The application was submitted with:
- Design, Access and Heritage Statement
 - Method Statement
 - Phases I and II Ecology Report
 - Plans and section of the proposed development

4 Policy Considerations

National Planning Policy Framework 2012

Havant Borough Local Plan (Core Strategy) March 2011

CS11 (Protecting and Enhancing the Special Environment and Heritage of Havant Borough)

CS16 (High Quality Design)

Havant Borough Local Plan (Allocations) July 2014

Havant Borough Council Borough Design Guide SPD December 2011

Listed Building Grade: Grade II

Conservation Area: Not applicable.

5 Statutory and Non Statutory Consultations

Conservation Officer

No Objection

The building subject of this application forms part of a group of listed agricultural buildings. There is a C18 eight bay barn which is used for low key storage. The stable block adjoining this on the southern side can be roughly divided into two. The western section, immediately adjacent to the barn, remains in active use for its original purpose. The eastern section (subject of this application) is redundant in poor condition and "at risk". The building at one time extended further to the east. The shell of the structure remains in part, but it is roofless.

Although in a poor state of repair the building's original form and functional arrangement is readily apparent. A conservative approach appears to have been taken to the proposed conversion of the former stables with much of the historic significance of the building maintained. The number of openings have been kept to a minimum and sited in such a way as to reduce the impact of the changes on the historic fabric.

A strong characteristic of agricultural buildings is the simple unpunctuated roof. The use of rooflights is best avoided, but where essential should be kept to a minimum. I do

not believe the number and position of rooflights in this instance will harm the character of the building.

To facilitate the practical conversion of the building it is proposed to install a timber glazed assembly to allow light into the full height living space. The current proposal appears in keeping with that of the building and would not be controversial. Detailed fenestration drawings of the replacement windows/doors have also been submitted with the application or form and are considered acceptable.

The extension which will form two bedrooms and a bathroom will replace the existing 1970s lean-to. The structure is of no historical merit and therefore its replacement would not be contested. Whilst the proposed extension is slightly wider and deeper it maintains a subordinate scale and appears to use materials which will add a contrast between the old and new, yet not clash with or compromise the historic structure.

The proposal therefore appears to have been sensitively undertaken using a design that will still appreciate the character of the stables.

Conditions:

- Scheme should be implemented in full compliance with the detailed method statement submitted with application
- Materials for extension to be submitted and approved before works commence.
- Any alteration or repairs to brickwork shall be carried out in matching bond and matching bricks using a lime based mortar with a flush joint.

Reason: To maintain the character of this historic building.

- All new works and works of making good to the retained fabric whether internal or external, shall be finished to match the adjacent work with regard to the methods used and to material, colour, texture and profile.

Reason To safeguard the architectural and historic character of the Grade II listed building.

- No vents or flues, plumbing or pipes, other than the rainwater downpipes, shall be fixed to the external faces of the building unless agreed in writing with the Planning Authority.

Reason To safeguard the architectural or historic character of the Grade II listed building

6 Community Involvement

This application was publicised in accordance with the Council's Code of Practice for Publicity of Planning Applications approved at minute 207/6/92 (as amended), as a result of which the following publicity was undertaken:

Number of neighbour notification letters sent: 5

Number of site notices: One

Statutory advertisement: 30/06/2017

Number of representations received: 0

7 Planning Considerations

- 7.1 Having regard to the relevant policies of the development plan and the NPPF it is considered that the main issues arising from this listed building application are:

- (i) Impact upon the character and setting of the listed building
- (i) Impact upon the character and setting of the listed building

7.2 Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 require Planning Authorities to have special regard to the desirability of preserving listed buildings or their setting or any features of special architectural or historic interest which they possess. The site is an important grade II listed designated heritage asset, which is in a state of disrepair. The NPPF requires the consideration of any harm to a heritage asset to be weighed against the public benefits of the proposal. The Conservation Officer has viewed the building and recognises that substantial investment is required to secure a future for the building. In the absence of such investment, the building will continue to deteriorate. To survive in the long term, buildings require an economic use, sufficient to sustain the cost of restoration and ongoing maintenance. It is therefore considered that there would be public benefit in restoring the building and that the principle of the conversion of the building for residential use is acceptable, as it would conserve this designated heritage asset.

7.3 With regard to the physical works necessary to the listed building to enable its conversion, it is recognised that all proposals for conversion have implications for historic fabric and character. However, this building is far better adapted to such change than many more agricultural structures. With regard to the external changes a strong characteristic of agricultural buildings is the simple unpunctuated roof. The use of roof lights is best avoided, but where essential should be kept to a minimum. It is considered that the proposed number and position of roof lights in this instance, is appropriate in this context.

7.4 The proposed extension, which would form two bedrooms and a bathroom will replace the existing 1970's lean-to. The existing structure is of no historical merit, the proposed extension is slightly wider and deeper, however it is considered to maintain a subordinate scale to the main building. In addition the proposal would use high quality materials which will add a contrast between the old and new, but would not clash with or compromise the historic structure. It is therefore considered that the proposed external alteration would conserve the character and setting of the listed building.

7.5 To facilitate the practical conversion of the building it is proposed to install a timber glazed assembly to allow light into the full height living space. The current proposal is considered to be in keeping with that of the building and would conserve the internal fabric of this listed building. This has been demonstrated through the submission of detailed fenestration drawings of the replacement windows/doors which have also been submitted with the application. These details have been assessed by the Conservation Officer and are considered acceptable.

8 Conclusion

8.1 The proposed conversion of the stable to a residential use would be the optimal viable use to secure the preservation of this heritage asset. The retention of the building, the removal and replacement of the dilapidated eastern end of the building, and the replacement of the 1970's addition, in combination with the proposed sensitive design of the restoration works, would conserve and enhance the listed barn building.

9 RECOMMENDATION:

That the Head of Planning be authorised to **GRANT LISTED BUILDING CONSENT** for application APP/17/00658 subject to the following conditions:

1 The works must be begun not later than the expiration of three years beginning with the date of this consent.

Reason: To comply with the requirements of Section 18 of the Planning (Listed Building and Conservation Areas) Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2 The development hereby permitted shall be carried out in accordance with the following approved plans:

LOCATION & BLOCK PLAN 5384 1000
PROPOSED ROOF PLAN 5384 1101
PROPOSED GROUND FLOOR PLAN 5384 1201
PROPOSED FIRST FLOOR PLAN 5384 1203
PROPOSED FIRST FLOOR PLAN WITH OVERHEADS 5384 1204
PROPOSED AND EXISTING SOUTH ELEVATION 5384 1300
PROPOSED AND EXISTING NORTH ELEVATION 5384 1301
PROPOSED AND EXISTING EAST ELEVATION 5384 1302
OPENING DETAIL (CASEMENT HAYLOFT) - 5384 1600
OPENING DETAIL (ENTRANCE TIMBER ASSEMBLY) 5384 1601
OPENING DETAIL (GLAZED DOOR HAYLOFT) 5384 1602
OPENING DETAIL (LOUNGE TIMBER ASSEMBLY) 5384 1603
Method Statement- Reference 5384 dated June 2017

Reason: - To ensure provision of a satisfactory development.

3 Notwithstanding any description of materials in the application no above ground construction works shall take place until samples and a full specification of the materials to be used externally on the extension have been submitted to and approved in writing by the Local Planning Authority. Such details shall include the type, colour and texture of the materials. Only the materials so approved shall be used, in accordance with any terms of such approval.

Reason: To ensure the appearance of the development is satisfactory and having due regard to policies CS11 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

4 All new works and works of making good to the retained fabric whether internal or external, shall be finished to match the adjacent work with regard to the methods used and to material, colour, texture and profile.

Reason: To ensure that the character and setting of the listed building is preserved in accordance with policies CS11 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011.

5 No vents or flues, plumbing or pipes, other than the rainwater downpipes, shall be fixed to the external faces of the building unless agreed in writing with the Local Planning Authority.

Reason: To ensure that the character and setting of the listed building is preserved in accordance with policies CS11 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011.

6 Any alteration or repairs to brickwork shall be carried out in matching bond and

matching bricks using a lime based mortar with a flush joint.

Reason: To ensure that the character and setting of the listed building is preserved in accordance with policies CS11 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011.

Appendices

See parallel planning application APP/17/00654 elsewhere on this agenda.

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Rota for the rotating Chairmanship for the Development Management Committee 2017/2018

- Cllr Paul Buckley
- Cllr Gary Hughes
- Cllr David Keast
- Cllr Dianne Lloyd
- Cllr Diana Patrick
- Cllr John Perry
- Cllr Clare Satchwell

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